

	Municipality	Location of Property	Tax Map Number	Recorded Transfer Date	Total Tax Bill
1	Albany	182 Brevator St.	53.82-1-9	1/13/2021	\$ 1,900.34
2	Albany	485 Yates St.	64.76-1-14	11/15/2019	\$ 1,089.37
3	Albany	783 Livingston Ave.	65.21-1-20	1/28/2021	\$ 5,459.17
4	Albany	44 N. Manning St.	65.29-1-27	1/28/2021	\$ 1,947.82
5	Albany	585 Third St.	65.30-1-46	1/28/2021	\$ 1,680.50
6	Albany	45 Ontario St.	65.38-2-33	1/28/2021	\$ 2,016.69
7	Albany	25 N. First St.	65.44-1-20	1/28/2021	\$ 2,651.10
8	Albany	325 First St.	65.56-3-52	1/28/2021	\$ 1,736.42
9	Albany	352 First St.	65.56-3-64	1/28/2021	\$ 1,735.47
10	Albany	257 Third St.	65.56-5-42	1/28/2021	\$ 1,320.99
11	Albany	26 Beverly Ave.	65.57-1-72	1/28/2021	\$ 1,724.86
12	Albany	502 Hudson	65.61-3-35	1/28/2021	\$ 1,141.04
13	Albany	324 First St.	65.64-1-7	1/28/2021	\$ 1,589.65
14	Albany	257 Second St.	65.64-7-28	1/28/2021	\$ 1,703.15
15	Albany	35 Lark St.	65.65-5-25	1/28/2021	\$ 1,039.16
16	Albany	36 Bradford St.	65.71-1-48	1/28/2021	\$ 2,224.11
17	Albany	665 N. Pearl St.	66.21-2-26	1/28/2021	\$ 1,068.29
18	Albany	278 Whitehall Rd.	75.49-1-9	1/28/2021	\$ 2,450.82
19	Albany	50 Edgecomb St.	75.59-2-20	1/28/2021	\$ 4,624.34
20	Albany	65 Grand St.	76.49-2-46	1/28/2021	\$ 2,851.09
21	Albany	34 Park Ave.	76.57-1-61.2	1/28/2021	\$ 1,159.32
22	Albany	18 Jeanette St.	76.61-1-9	1/28/2021	\$ 2,820.62
23	Albany	118 Mount Hope Dr.	87-23-2-11	1/28/2021	\$ 1,329.86
24	Bethlehem	1203 River Rd.	134.00-1-25	6/12/2020	\$ 3,421.22
25	Colonie	1366 Central Ave	42.17-6-31	4/29/2020	\$ 1,887.45
26	Green Island	54 James Street	20.76-4-13	1/5/2021	\$ 4,306.15
27	Knox	RTE 156	47.-2-26.71	12/24/2019	\$ 1,798.91
28	Watervliet	901 12th St	32.19-2-25	4/25/2020	\$ 1,258.64
29	Watervliet	1297 Broadway	32.83-1-35	7/8/2020	\$ 7,065.99
			<b>Total</b>		<b>\$ 67,002.54</b>



March 2, 2021

**Board of Directors**

Charles Touhey, Chair  
*Touhey Associates*

Natisha M. Alexander,  
Treasurer  
*Resident*

Samuel Wells, Secretary  
*Resident*

Mark Bobb-Semple  
*Resident*

Anthony Capece  
*Executive Director, Central  
Avenue BID*

Joseph J. LaCivita  
*City of Watervliet*

Juanita Nabors  
*Resident*

David C. Rowley  
*Managing Partner, Cooper  
Erving & Savage*

Chris Spencer  
*City of Albany*

**Executive Director**

Adam Zaranko

Michael McGuire  
Director  
Albany County Real Property Tax Service Agency  
112 State Street, Room 1340  
Albany, NY 12207

**Re: New York State Land Bank Statutory Exemptions**

Mr. McGuire,

The Albany County Land Bank was established in 2014 by Albany County to facilitate the process of acquiring, improving, and redistributing tax-foreclosed, vacant, or abandoned properties.

As a New York State Land Bank established under Article 16 of the New York State Not-For-Profit Corporation Law (the Land Bank Act) all income, operations and real property of the Albany County Land Bank Corporation is exempt from taxation by the State of New York and by any of its political subdivisions.

New York State Land Banks are also exempt from all special ad valorem levies, special assessments, sewer rents and user charges. In accordance with §1608(a) of the Land Bank Act, the tax-exempt status of all land bank property, inclusive of all statutory exemptions, is effective upon the date of transfer of title to a land bank.

Enclosed, please find tax correction forms pertaining to property taxes levied on real property owned by the Albany County Land Bank Corporation. I respectfully request these corrections be reviewed and corrected in accordance with the exemptions provided to us under New York State law.

I have attached more information pertaining to the statutory exemptions provided to New York State Land Banks for your reference. Should you have any questions, please do not hesitate to contact Erica Ganns, Assistant Director of Operations at (518) 407-0309 or [eganns@albanycountylandbank.org](mailto:eganns@albanycountylandbank.org).

Thank you for your time and consideration,

Adam Zaranko  
Executive Director

BARCLAY DAMON LLP

**MEMORANDUM**

**TO: New York Land Bank Association**  
**FROM: John P. Sidd, Esq.**  
**DATE: February 1, 2019**  
**RE: §1608(a) of the Land Bank Act**

=====

On December 28, 2018 Governor Cuomo signed into law the latest amendment to §1608(a) of the Land Bank Act. Section 1608(a) has now been amended on four occasions since its original passage in 2011 and, as such, this memorandum is intended to summarize the current version of this important section of the Land Bank Act. The current version of §1608(a) is inserted at the end of this memorandum for your convenience.

Section 1608(a) begins by setting forth the fundamental tax exempt status of land banks by exempting the real property of a land bank and its income and operations from all taxation by the State of New York and by any of its political subdivisions. No additional filings are necessary or required with the State of New York or any of its political subdivisions, including local real property assessors, to implement the tax exemption applicable to income, operations or real property.

The real property tax exemption set forth in the first sentence of §1608(a) is applicable to the general purpose local tax levy. The general purpose local tax levy finances the activity of local government by an ad valorem levy upon taxable real property within the jurisdiction of the local government to provide a general benefit to the entire jurisdiction. The ad valorem general purpose local tax is a tax that is imposed proportionately based upon the assessed value of real property. In addition to the general purpose local tax, real property is often subject to additional fees which generally fall into the following three categories: special ad valorem levies, special assessments or user charges (please note there are no special ad valorem levies in cities). These additional fees may be ad valorem or unit/usage-based and are imposed on real property located within a special district for municipal improvements or services benefitting the particular real property assessed.

For most real property tax exempt owners, their tax exemption begins and ends with exemption from the general purpose local tax and they remain responsible for all special ad valorem levies, special assessments and user charges. Fortunately, the

second sentence of §1608(a) entitles land banks to a complete exemption from special ad valorem levies, special assessments, sewer rent (a type of user charge imposed by Article Fourteen-F of the General Municipal Law) and all other user charges imposed by any municipal corporation, special district or other political subdivisions of the state.

The exemption to user charges, however, is not applicable to real property for which a land bank receives rent, fees, or other charges for the use of such real property. While this limitation will most often impact land bank real property which is occupied by a rent paying tenant, please keep in mind that onetime event use of land bank real property for a fee could jeopardize this additional exemption. Land banks should be prepared to demonstrate to their local assessors which of its properties generate rent, fees, or other charges and, more importantly, which do not.

The December 2018 amendment provides that the tax exempt status of land bank property, which includes all of the exemptions discussed above, shall be effective upon the date of transfer of title to a land bank. There is no longer a need to wait until the next taxable status date as land bank property will now be transferred to the tax exempt roll immediately upon acquisition. An immediate real property tax exemption upon acquisition is uncommon and, therefore, land banks should be prepared to bring this exemption to the attention of local assessors and taxing jurisdictions.

The exemption to the general purpose local tax has been in place since the original adoption of the Land Bank Act in 2011. The exemption to special ad valorem levies and special assessments has been in place since November of 2016. The exemption to user charges, including sewer rent, has been in place since October of 2017. All of the above exemptions being effective upon the date of transfer of title to a land bank was immediately effective as of December 28, 2018.

Section 1608(a) concludes by providing land banks with an exemption to all filing and recording fees imposed by County Clerks. Land banks join only the State of New York and County Governments in being exempt from such recording fees. While the exemption applies to any and all documents either filed or recorded with a County Clerk, land banks will most frequently enjoy the benefit in relation to the recording of deeds, mortgages, mortgage discharges and the filing of Transfer Tax Returns (TP-584) and Real Property Transfer Reports (RP-5217).

## **§1608(a) of the Land Bank Act**

**The real property of a land bank and its income and operations are exempt from all taxation by the state of New York and by any of its political subdivisions. The real property of a land bank shall be exempt from: (i) all special ad valorem levies and special assessments as defined in section one hundred two of the real property tax law; (ii) sewer rent imposed under article fourteen-F of the general municipal law; and (iii) any and all user charges imposed by any municipal corporation, special district or other political subdivisions of the state, provided, however, that real property of a land bank for which such land bank receives rent, fees, or other charges for the use of such real property shall not be exempt from subparagraphs (ii) and (iii) of this paragraph. Such exempt status shall be effective upon the date of transfer of title to a land bank, notwithstanding the applicable taxable status date. Notwithstanding any other general, special or local law relating to fees of clerks, no clerk shall charge or collect a fee for filing, recording or indexing any paper, document, map or proceeding filed, recorded or indexed for a land bank, or an officer thereof acting in an official capacity, nor for furnishing a transcript, certification or copy of any paper, document, map or proceeding to be used for land bank purposes.**

# Assessor Manual, Exemption Administration: NPCL section 1608

## Exemption Administration Manual—Part 2: Private Community Service and Social Organizations

### Section 4.05, NPCL section 1608: Land Banks

**Exemption code:** 25900

**Year originally enacted:** 2011

**Related statutes:** NPCL Art. 16; RPTL §1102(6)

#### Summary:

If a city, town, village or county adopts a local option to create a land bank under Not-for-Profit Corporation Law Article 16 for purposes of acquiring, holding, managing and developing tax-delinquent, tax foreclosed, vacant, and abandoned property for the eventual return of such property to productive use, such property acquired or transferred to the land bank or a lawfully organized subsidiary becomes exempt from all taxation, special ad valorem levies and special assessments. Each land bank created must be a Type-C not-for-profit corporation, with the power to design, develop, construct, demolish, reconstruct, rehabilitate, renovate, relocate and otherwise improve real property or rights or real property rights and interests. The term of the exemption benefit for an acquired property extends up to when the land bank transfers the property, or until the land bank dissolves, whichever comes first.

#### Eligibility requirements:

##### Ownership requirements:

Property must be owned by a land bank created under Article 16 of the NPCL, which for purposes of this exemption is defined as a Type-C not for profit corporation, and created by a foreclosing governmental unit or units (defined as a taxing district of a city, town, village or county). Or the property must be owned by a lawfully organized subsidiary of such land bank.

**Property location requirements:** Property acquired or held by a land bank must be located within the foreclosing governmental unit or units which created the land bank, unless the land bank is granted authority under an intergovernmental cooperation agreement with another municipality (city, town, village, or county) to manage and maintain the property located within such other municipality. If a county creates a land bank, such land bank's power to acquire real property is limited to those portions of the county located outside of the geographic boundaries of any other land bank created by other foreclosing governmental units located partially or entirely within such county.

*Note:* A school district partially or wholly located in a foreclosing governmental unit or units which created the land bank may participate in such land bank under an intergovernmental cooperation agreement concerning the land bank's operation.

##### Property use requirements:

Property acquired by the land bank must be limited to real property that is tax-delinquent, tax foreclosed, vacant or abandoned. However, a land bank may enter into an agreement to purchase other real property that is consistent with a redevelopment plan approved by the foreclosing governmental unit or units which created the land bank. In any event, the land bank must maintain all of the real property according to the laws and ordinances of the jurisdiction in which the property is located.

##### Certification by state or local government:

Creation of a land bank must be approved by the New York State Urban Development Corporation (doing business as the Empire State Development Corporation). No more than thirty-five land banks may exist at any given time across the state. Furthermore, each land bank that produces a redevelopment plan must submit such a plan to the foreclosing governmental unit or units for approval.

##### Required construction start date or other time requirement:

Exempt status is effective upon the date of transfer of title to a land bank.

##### Local option:

Yes - Each foreclosing governmental unit may choose whether or not to create a land bank under Article 16 of the Not-for-Profit Corporation Law. The option must be exercised through adoption of a local law, ordinance or resolution after a public hearing. Once the option to create the land bank is adopted, exemption from taxation becomes available to property acquired by the land bank.

##### Limitation on exemption:

##### Limitation on exemption by amount, duration, and taxing jurisdiction

Type of limitation	General municipal taxes	School district taxes	Special ad valorem levies	Special assessments
Amount	No limit*	No Limit*	No limit*	No limit*

Duration	No limit**	No limit**	No limit**	No limit**
Taxing jurisdiction: county or county special district	Exempt***	Not applicable	Exempt***	Exempt***
Taxing jurisdiction: city	Exempt*	Not applicable	Not applicable	Exempt*
Taxing jurisdiction: town or town special district	Exempt*	Not applicable	Exempt*	Exempt*
Taxing jurisdiction: village	Exempt*	Not applicable	Not applicable	Exempt*
Taxing jurisdiction: school district	Not applicable	Exempt****	Not applicable	Not applicable

\*If land bank is created by municipal option;

\*\*Unless and until sold or transferred by land bank, or until dissolution of land bank, whichever occurs first

\*\*\*Exemption by county-created land bank is limited to areas outside of land banks created by other municipalities located partially or wholly within such county

\*\*\*\*If property is located in portion of school district that is part of land bank

**Payments in lieu of taxes:**

None required.

**Calculation of exemption:**

General municipal and school district taxes: 100% of assessed value.

Special ad valorem levies and special assessments: 100% of assessed value.

**Assessment roll section:**

Exempt (RPS Roll Section 8)

**Filing requirements (owner or occupant of property):**

None.

**Reporting requirements (Assessor):**

None.

**Similar exemptions:**

None.

Updated: January 02, 2019



# Application for Corrected Tax Roll

**RP-554**  
(12/19)

**Part 1 – General information:** To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>182 Brevator Street</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany</b>
			State <b>NY</b>
			ZIP code <b>12206</b>
Daytime contact number <b>5184070309</b>	Evening contact number	Tax map number of section/block/lot: Property identification (see tax bill or assessment roll) <b>53.82-1-9</b>	
Account number (as appears on tax bill) <b>28401</b>		Amount of taxes currently billed <b>1976.35 1900.34</b>	
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>			

I hereby request a correction of tax levied by Albany for the year(s) 2021  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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**Part 2 – To be completed by the County Director or Village Assessor.** Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/17/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

**Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_:**  
(insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error  Error in essential fact  Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904
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<b>BANK</b>	<b>BILL</b> 211619	<b>TAX MAP NUMBER</b> 53.82-1-9
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**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**

ACCOUNT #: 28401  
 DIMENSION: 50 X 120  
 ROLL: 1  
 LOCATION: 182 Brevator St  
 SCHOOL: 010100  
 FULL MARKET VALUE: 97,645  
 UNIFORM % OF VALUE: 93.40%  
 TOTAL ASSESSMENT: 91,200  
 TAXABLE VALUE: 91,200

**PROPERTY OWNER:**

Galus Rev. Clara P.  
182 Brevator St  
Albany, NY 12206

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	91,200	3.767995	343.64
City Tax	59,850,000	1.7%	91,200	11.018444	1,004.88
Waste Collection Fee			0		90.00
Delinquent Water			0		231.82
2019 Waste Coll			0		140.00
2020 Waste Coll			0		90.00
<b>TOTAL BASE TAXES DUE:</b>					<b>\$1,900.34</b>

Date Paid	Amount Paid
	\$0.00

	Tax Amount	Interest	Total Due
Pay By 2/28/2021	\$1,900.34	\$76.01	\$1,976.35

**TOTAL TAX DUE: 1976.35**



# Application for Corrected Tax Roll

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>485 Yates Street</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany</b>
			State <b>NY</b>
			ZIP code <b>12208</b>
Daytime contact number <b>5184070309</b>	Evening contact number	Tax map number of section/block/lot: Property identification (see tax bill or assessment roll) <b>64.76-1-14</b>	
Account number (as appears on tax bill) <b>17810</b>		Amount of taxes currently billed <b>1089.37</b>	
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>			

I hereby request a correction of tax levied by Albany for the year(s) 2020 + 2021  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2020</b>
Last day for collection of taxes without interest <b>1/31/2020</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/17/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ :

Application approved (mark an X in the applicable box): (insert number or date, if applicable)

Clerical error  Error in essential fact  Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

FISCAL YEAR: 1/1/2021 to 12/31/2021	WARRANT: 12/31/2020	ESTIMATED COUNTY STATE AID: \$96,037,904
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<b>BANK</b>	<b>BILL</b> 236318	<b>TAX MAP NUMBER</b> 64.76-1-14
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**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**  
ACCOUNT #: 17810  
DIMENSION: 22 X 35  
ROLL: 1  
LOCATION: 485 Yates St  
SCHOOL: 010100  
FULL MARKET VALUE: 17,024  
UNIFORM % OF VALUE: 93.40%  
TOTAL ASSESSMENT: 15,900  
TAXABLE VALUE: 15,900

**PROPERTY OWNER:**  
Albany County Land Bank Corp  
69 State St Fl 8th  
Albany, NY 12207

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	15,900	3.767995	59.91
City Tax	59,850,000	1.7%	15,900	14.216924	226.05
<b>TOTAL BASE TAXES DUE:</b>					<b>\$285.96</b>

	Date Paid	Amount Paid	
		\$0.00	
	Tax Amount	Interest	Total Due
Pay By 5/31/2021	\$285.96	\$0.00	\$285.96

**TOTAL TAX DUE: 142.98\***

\*Total Amount Due: \$285.96; OR 1st Installment of \$142.98 due by 5/31/2021, and 2nd Installment of \$142.98 plus interest due no later than 12/31/2021.

03/12/2021 14:58  
cmurray

COUNTY OF ALBANY  
Real Estate Tax Statement

P 1  
txtaxstm

PARCEL: 06407600010140000000

LOCATION: 485 YATES ST

OWNER:  
ALBANY COUNTY LAND BANK CORP  
69 STATE ST FL 8TH  
ALBANY NY 12207

STATUS:  
SQUARE FEET 0  
LAND VALUATION 15,900  
BUILDING VALUATION 0  
EXEMPTIONS 0  
TAXABLE VALUATION 15,900  
INTEREST PER DIEM 70.31

LEGAL DESCRIPTION:

DEED DATE: BOOK/PAGE: INTEREST DATE: 03/12/2021

YEAR	TYPE	BILL	BILLED	PRIN DUE	INT DUE	TOTAL DUE
2020	RE-E	4996				
1	ALBANY SCH 5% PERCENT		481.54 24.08	481.54 24.08	14.45 .00	495.99 24.08
			505.62	505.62	14.45	520.07
2020	RE-1	6732				
1	ALBANY PRO 5 PERCENT		283.61 14.18	283.61 14.18	48.21 .00	331.82 14.18
			297.79	297.79	48.21	346.00
GRAND TOTALS			803.41	803.41	62.66	866.07

PARTIAL PAYMENTS ARE NOT ACCEPTED WITHOUT AN INSTALLMENT AGREEMENT  
IF ANY PARCEL REMAINS SUBJECT TO ONE OR MORE DELINQUENT TAX LIENS,  
THE PAYMENT YOU HAVE MADE WILL NOT POSTPONE THE ENFORCEMENT OF THE  
OUTSTANDING LIEN OR LIENS. CONTINUED FAILURE TO PAY THE ENTIRE  
AMOUNT OWED WILL RESULT IN THE LOSS OF THE PROPERTY(IES).

PAYMENT MADE TO:  
ALBANY COUNTY DIVISION OF FINANCE  
112 STATE ST. ROOM 1340  
ALBANY, NY 12207  
TEL: 447-7082

\$35.00 WILL BE CHARGED FOR ANY RETURNED CHECK  
INTEREST WILL INCREASE ON THE 1ST OF THE MONTH



# Application for Corrected Tax Roll

**RP-554**  
(12/19)

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>783 Livingston Ave</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany</b>
			State <b>NY</b>
			ZIP code <b>12206</b>
Daytime contact number <b>5184070309</b>	Evening contact number	Tax map number of section/block/lot: Property Identification (see tax bill or assessment roll) <b>65.21-1-20</b>	
Account number (as appears on tax bill) <b>13859</b>	Amount of taxes currently billed <del>5,771.54</del> <b>5,459.17</b>		
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>			

I hereby request a correction of tax levied by Albany for the year(s) 2021  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
----------------------------	-------------------------

### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/17/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error  Error in essential fact  Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904	
	<b>BANK</b>	<b>BILL</b> 221884	<b>TAX MAP NUMBER</b> 65.21-1-20

**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**

ACCOUNT #: 13859  
 DIMENSION: 21.33 X 110  
 ROLL: 1  
 LOCATION: 783 Livingston Ave  
 SCHOOL: 010100  
 FULL MARKET VALUE: 16,060  
 UNIFORM % OF VALUE: 93.40%  
 TOTAL ASSESSMENT: 15,000  
 TAXABLE VALUE: 15,000

**PROPERTY OWNER:**  
GUARDIAN PRESERVATION LLC  
123 SARATOGA Rd Ste 100-360  
GLENVILLE, NY 12302

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	15,000	3.767995	56.52
City Tax	59,850,000	1.7%	15,000	11.018444	165.28
Illegal Trash			0		4,725.00
Delinquent Water			0		232.37
2019 Waste Coll			0		280.00

**TOTAL BASE TAXES DUE: \$5,459.17**

Date Paid	Amount Paid
	\$0.00

	Tax Amount	Interest	Total Due
Pay By 2/28/2021	\$5,459.17	\$218.37	\$5,677.54

**TOTAL TAX DUE: 5677.54**



# Application for Corrected Tax Roll

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>44 N. Manning Blvd</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany, NY</b>
Daytime contact number <b>5184070309</b>	Evening contact number <b>12867</b>		Tax map number of section/block/lot: Property identification (see tax bill or assessment roll) <b>65.29-1-27</b>
Account number (as appears on tax bill) <b>12867</b>		Amount of taxes currently billed <del>2025.13</del> <b>1,947.82</b>	
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>			

I hereby request a correction of tax levied by Albany for the year(s) 2021.  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/12/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error       Error in essential fact       Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_  
\_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904	
	<b>BANK</b>	<b>BILL</b> 225069	<b>TAX MAP NUMBER</b> 65.29-1-27

**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**

ACCOUNT #: 12867  
 DIMENSION: 23 X 200  
 ROLL: 1  
 LOCATION: 44 N Manning Blvd  
 SCHOOL: 010100  
 FULL MARKET VALUE: 124,197  
 UNIFORM % OF VALUE: 93.40%  
 TOTAL ASSESSMENT: 116,000  
 TAXABLE VALUE: 116,000

**PROPERTY OWNER:**

Klose Dora  
46 N Manning Blvd  
Albany, NY 12206

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	116,000	3.767995	437.09
City Tax	59,850,000	1.7%	116,000	11.018444	1,278.14
Delinquent Water			0		232.59
<b>TOTAL BASE TAXES DUE:</b>					<b>\$1,947.82</b>

Date Paid	Amount Paid
	\$0.00

	Tax Amount	Interest	Total Due
Pay By 2/28/2021	\$1,947.82	\$77.91	\$2,025.73

**TOTAL TAX DUE: 2025.73**





# Application for Corrected Tax Roll

**RP-554**  
(12/19)

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>585 Third Street</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany</b>
Daytime contact number <b>5184070309</b>	Evening contact number	Tax map number of section/block/lot: Property Identification (see tax bill or assessment roll) <b>65.30-1-46</b>	
Account number (as appears on tax bill) <b>13711</b>		Amount of taxes currently billed <del>1777.73</del> <b>1,680.50</b>	
Reasons for requesting a correction to tax roll: The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.			

I hereby request a correction of tax levied by Albany for the year(s) 2021.  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/17/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error  Error in essential fact  Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904
	<b>BANK</b>	<b>BILL</b> 233022
		<b>TAX MAP NUMBER</b> 65.30-1-46

**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**

ACCOUNT #: 13711  
 DIMENSION: 30 X 133  
 ROLL: 1  
 LOCATION: 585 Third St  
 SCHOOL: 010100  
 FULL MARKET VALUE: 84,582  
 UNIFORM % OF VALUE: 93.40%  
 TOTAL ASSESSMENT: 79,000  
 TAXABLE VALUE: 79,000

**PROPERTY OWNER:**  
LEAVITT MARY ANN  
585 Third St  
Albany, NY 12206

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	79,000	3.767995	297.67
City Tax	59,850,000	1.7%	79,000	11.018444	870.46
Delinquent Water			0		232.37
2019 Waste Coll			0		280.00
<b>TOTAL BASE TAXES DUE:</b>					<b>\$1,680.50</b>

Date Paid	Amount Paid
	\$0.00

	Tax Amount	Interest	Total Due
Pay By 2/28/2021	\$1,680.50	\$67.22	\$1,747.72

**TOTAL TAX DUE: 1747.72**



# Application for Corrected Tax Roll

# RP-554

(12/19)

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>45 Ontario Street</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany NY</b>
Daytime contact number <b>5184070309</b>	Evening contact number	Tax map number of section/block/lot: Property Identification (see tax bill or assessment roll) <b>65.38-2-33</b>	
Account number (as appears on tax bill) <b>12728</b>		Amount of taxes currently billed <del>2097.36</del> <b>2016.69</b>	
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>			

I hereby request a correction of tax levied by Albany for the year(s) 2021.  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/17/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error       Error in essential fact       Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904	
	<b>BANK</b>	<b>BILL</b> 226165	<b>TAX MAP NUMBER</b> 65.38-2-33

**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**

ACCOUNT #: 12728  
 DIMENSION: 50.39 X 110  
 ROLL: 1  
 LOCATION: 45 Ontario St  
 SCHOOL: 010100  
 FULL MARKET VALUE: 53,533  
 UNIFORM % OF VALUE: 93.40%  
 TOTAL ASSESSMENT: 50,000  
 TAXABLE VALUE: 50,000

**PROPERTY OWNER:**  
OREDERU OMOTAYO  
9 ELDRIDGE Ave  
STATEN ISLAND, NY 10302

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	50,000	3.767995	188.40
City Tax	59,850,000	1.7%	50,000	11.018444	550.92
Illegal Trash			0		493.64
Delinquent Water			0		503.73
2019 Waste Coll			0		280.00

**TOTAL BASE TAXES DUE: \$2,016.69**

Date Paid	Amount Paid
	\$0.00

	Tax Amount	Interest	Total Due
Pay By 2/28/2021	\$2,016.69	\$80.67	\$2,097.36

**TOTAL TAX DUE: 2097.36**



# Application for Corrected Tax Roll

# RP-554

(12/19)

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>25 N. First Street</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany NY</b>
Daytime contact number <b>5184070309</b>	Evening contact number	Tax map number of section/block/lot: Property Identification (see tax bill or assessment roll) <b>65.44-1-20</b>	
Account number (as appears on tax bill) <b>12220</b>	Amount of taxes currently billed <del>2,957.74</del> <b>2,657.10</b>		
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>			

I hereby request a correction of tax levied by Albany for the year(s) 2021.  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/12/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error       Error in essential fact       Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904
	<b>BANK</b>	<b>BILL</b> 224910
		<b>TAX MAP NUMBER</b> 65.44-1-20

**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**

ACCOUNT #: 12220  
 DIMENSION: 49 X 73  
 ROLL: 1  
 LOCATION: 25 N First St  
 SCHOOL: 010100  
 FULL MARKET VALUE: 128,480  
 UNIFORM % OF VALUE: 93.40%  
 TOTAL ASSESSMENT: 120,000  
 TAXABLE VALUE: 120,000

**PROPERTY OWNER:**

Wheeler Maria E  
 CALIBER HOME LOANS  
 1123 PARK VIEW Dr  
 COVINA, CA 91724-3748

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	120,000	3.767995	452.16
City Tax	59,850,000	1.7%	120,000	11.018444	1,322.21
Illegal Trash			0		477.42
Delinquent Water			0		259.31
2019 Waste Coll			0		140.00

**TOTAL BASE TAXES DUE: \$2,651.10**

Date Paid	Amount Paid
	\$0.00

	Tax Amount	Interest	Total Due
Pay By 2/28/2021	\$2,651.10	\$106.04	\$2,757.14

**TOTAL TAX DUE: 2757.14**



# Application for Corrected Tax Roll

**RP-554**  
(12/19)

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>325 First Street</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany</b>
Daytime contact number <b>5184070309</b>	Evening contact number	State <b>NY</b>	ZIP code <b>12206</b>
Account number (as appears on tax bill) <b>14818</b>		Tax map number of section/block/lot: Property Identification (see tax bill or assessment roll) <b>65.56-3-52</b>	
		Amount of taxes currently billed <del>1805.88</del> <b>1736.42</b>	
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>			

I hereby request a correction of tax levied by Albany for the year(s) 2021  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/17/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error       Error in essential fact       Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904	
	<b>BANK</b>	<b>BILL</b> 216558	<b>TAX MAP NUMBER</b> 65.56-3-52

**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**

ACCOUNT #: 14818  
 DIMENSION: 24.74 X 114.5  
 ROLL: 1  
 LOCATION: 325 First St  
 SCHOOL: 010100  
 FULL MARKET VALUE: 51,499  
 UNIFORM % OF VALUE: 93.40%  
 TOTAL ASSESSMENT: 48,100  
 TAXABLE VALUE: 48,100

**PROPERTY OWNER:**  
West Hill Improvement Corp.  
117 N Lake Ave  
Albany, NY 12206

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	48,100	3.767995	181.24
City Tax	59,850,000	1.7%	48,100	11.018444	529.99
Illegal Trash			0		151.90
Delinquent Water			0		593.29
2019 Waste Coll			0		280.00

**TOTAL BASE TAXES DUE: \$1,736.42**

Date Paid	Amount Paid
	\$0.00

	Tax Amount	Interest	Total Due
Pay By 2/28/2021	\$1,736.42	\$69.46	\$1,805.88

**TOTAL TAX DUE: 1805.88**





# Application for Corrected Tax Roll

**RP-554**  
(12/19)

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>352 First Street</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany NY</b>
Daytime contact number <b>5184070309</b>	Evening contact number		Tax map number of section/block/lot: Property Identification (see tax bill or assessment roll) <b>65.56-3-64</b>
Account number (as appears on tax bill) <b>14766</b>		Amount of taxes currently billed <del>1804.89</del> <b>1735.47</b>	
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>			

I hereby request a correction of tax levied by Albany for the year(s) 2021.  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application <input checked="" type="checkbox"/> Deny application <input type="checkbox"/></b>
Signature of official 	Date <b>3/12/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error  Error in essential fact  Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904
	<b>BANK</b>	<b>BILL</b> 216571
		<b>TAX MAP NUMBER</b> 65.56-3-64

**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**

ACCOUNT #: 14766  
 DIMENSION: 28.67 X 80.92  
 ROLL: 1  
 LOCATION: 352 First St  
 SCHOOL: 010100  
 FULL MARKET VALUE: 77,837  
 UNIFORM % OF VALUE: 93.40%  
 TOTAL ASSESSMENT: 72,700  
 TAXABLE VALUE: 72,700

**PROPERTY OWNER:**

Frost Keith  
 Frost Fibbie  
 352 FIRST St  
 Albany, NY 12210

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	72,700	3.767995	273.93
City Tax	59,850,000	1.7%	72,700	11.018444	801.04
Delinquent Water			0		380.50
2019 Waste Coll			0		280.00
<b>TOTAL BASE TAXES DUE:</b>					<b>\$1,735.47</b>

Date Paid	Amount Paid
	\$0.00

	Tax Amount	Interest	Total Due
Pay By 2/28/2021	\$1,735.47	\$69.42	\$1,804.89

**TOTAL TAX DUE: 1804.89**



# Application for Corrected Tax Roll

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>257 Third Street</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany</b>
Daytime contact number <b>5184070309</b>	Evening contact number	Tax map number of section/block/lot: Property Identification (see tax bill or assessment roll) <b>65.56-5-42</b>	
Account number (as appears on tax bill) <b>15096</b>		Amount of taxes currently billed <del>1373.83</del> <b>1320.99</b>	
Reasons for requesting a correction to tax roll: The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.			

I hereby request a correction of tax levied by Albany for the year(s) 2021.  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/17/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error  Error in essential fact  Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904	
	<b>BANK</b>	<b>BILL</b> 232798	<b>TAX MAP NUMBER</b> 65.56-5-42

**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**

ACCOUNT #: 15096  
 DIMENSION: 29.5 X 130  
 ROLL: 1  
 LOCATION: 257 Third St  
 SCHOOL: 010100  
 FULL MARKET VALUE: 12,848  
 UNIFORM % OF VALUE: 93.40%  
 TOTAL ASSESSMENT: 12,000  
 TAXABLE VALUE: 12,000

**PROPERTY OWNER:**  
SKAINE LINCOLN R  
3 MCLAREN St  
SARATOGA SPRINGS, NY 12866

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	12,000	3.767995	45.22
City Tax	59,850,000	1.7%	12,000	11.018444	132.22
Illegal Trash			0		631.18
Delinquent Water			0		232.37
2019 Waste Coll			0		280.00

**TOTAL BASE TAXES DUE: \$1,320.99**

Date Paid	Amount Paid
	\$0.00

	Tax Amount	Interest	Total Due
Pay By 2/28/2021	\$1,320.99	\$52.84	\$1,373.83

**TOTAL TAX DUE: 1373.83**



# Application for Corrected Tax Roll

**RP-554**  
(12/19)

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>26 Berceby Avenue</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany NY</b>
Daytime contact number <b>5184070309</b>	Evening contact number	Tax map number of section/block/lot: Property Identification (see tax bill or assessment roll) <b>65-57-1-72</b>	
Account number (as appears on tax bill) <b>11145</b>		Amount of taxes currently billed <del>1793.85</del> <b>1724.86</b>	
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>			

I hereby request a correction of tax levied by Albany for the year(s) 2021.  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/17/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error  Error in essential fact  Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904	
	<b>BANK</b>	<b>BILL</b> 211168	<b>TAX MAP NUMBER</b> 65.57-1-72

**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**

ACCOUNT #: 11145  
 DIMENSION: 25 X 100  
 ROLL: 1  
 LOCATION: 26 Beverly Ave  
 SCHOOL: 010100  
 FULL MARKET VALUE: 87,794  
 UNIFORM % OF VALUE: 93.40%  
 TOTAL ASSESSMENT: 82,000  
 TAXABLE VALUE: 82,000

**PROPERTY OWNER:**

Seavey Christopher  
 C/O CEE VEE PROPERTIES LLC  
 1 Rapple Dr  
 Albany, NY 12205

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	82,000	3.767995	308.98
City Tax	59,850,000	1.7%	82,000	11.018444	903.51
Delinquent Water			0		232.37
2019 Waste Coll			0		280.00
<b>TOTAL BASE TAXES DUE:</b>					<b>\$1,724.86</b>

Date Paid	Amount Paid
	\$0.00

	Tax Amount	Interest	Total Due
Pay By 2/28/2021	\$1,724.86	\$68.99	\$1,793.85

**TOTAL TAX DUE: 1793.85**



# Application for Corrected Tax Roll

**RP-554**  
(12/19)

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>		
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>502 Hudson Avenue</b>
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>
Daytime contact number <b>5184070309</b>	Evening contact number	Tax map number of section/block/lot: Property identification (see tax bill or assessment roll) <b>65.61-3-35</b>
Account number (as appears on tax bill) <b>18095</b>		Amount of taxes currently billed <b>1186.68 11/4/001</b>
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>		

I hereby request a correction of tax levied by Albany for the year(s) 2021.  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/17/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error       Error in essential fact       Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904	
	<b>BANK</b>	<b>BILL</b> 219506	<b>TAX MAP NUMBER</b> 65.61-3-35

**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY OWNER:**  
SIPPEL LEONARD  
96 VAN WEISS Rd  
GLENMONT, NY 12077

**PROPERTY INFORMATION:**  
ACCOUNT #: 18095  
DIMENSION: 23 X 51.66  
ROLL: 1  
LOCATION: 502 Hudson Ave  
SCHOOL: 010100  
FULL MARKET VALUE: 53,533  
UNIFORM % OF VALUE: 93.40%  
TOTAL ASSESSMENT: 50,000  
TAXABLE VALUE: 50,000

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	50,000	3.767995	188.40
City Tax	59,850,000	1.7%	50,000	11.018444	550.92
Delinquent Water			0		121.72
2019 Waste Coll			0		280.00
<b>TOTAL BASE TAXES DUE:</b>					<b>\$1,141.04</b>

Date Paid	Amount Paid
	\$0.00

	Tax Amount	Interest	Total Due
Pay By 2/28/2021	\$1,141.04	\$45.64	\$1,186.68

**TOTAL TAX DUE: 1186.68**





# Application for Corrected Tax Roll

**RP-554**  
(12/19)

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>324 First Street</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany NY</b>
Daytime contact number <b>5184070309</b>	Evening contact number	Tax map number of section/block/lot: Property Identification (see tax bill or assessment roll) <b>65.64-1-7</b>	
Account number (as appears on tax bill) <b>14757</b>		Amount of taxes currently billed <del>1655.24</del> <b>1589.65</b>	
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>			

I hereby request a correction of tax levied by Albany for the year(s) 2021  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/17/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error  Error in essential fact  Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904	
	<b>BANK</b>	<b>BILL</b> 216557	<b>TAX MAP NUMBER</b> 65.64-1-7

**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**

ACCOUNT #: 14757  
 DIMENSION: 17.33 X 100  
 ROLL: 1  
 LOCATION: 324 First St  
 SCHOOL: 010100  
 FULL MARKET VALUE: 74,946  
 UNIFORM % OF VALUE: 93.40%  
 TOTAL ASSESSMENT: 70,000  
 TAXABLE VALUE: 70,000

**PROPERTY OWNER:**  
SPENCER JAMES JR  
167 GRAND Ave  
SARATOGA, NY 12866

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	70,000	3.767995	263.76
City Tax	59,850,000	1.7%	70,000	11.018444	771.29
Delinquent Water			0		274.60
2019 Waste Coll			0		280.00
<b>TOTAL BASE TAXES DUE:</b>					<b>\$1,589.65</b>

Date Paid	Amount Paid
	\$0.00

	Tax Amount	Interest	Total Due
Pay By 2/28/2021	\$1,589.65	\$63.59	\$1,653.24

<b>TOTAL TAX DUE: 1653.24</b>
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# Application for Corrected Tax Roll

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>257 Second Street</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany N.Y.</b>
Daytime contact number <b>5184070309</b>	Evening contact number		Tax map number of section/block/lot: Property Identification (see tax bill or assessment roll) <b>65.64-7-28</b>
Account number (as appears on tax bill) <b>10889</b>		Amount of taxes currently billed <del>1771.28</del> <b>1,703.15</b>	
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>			

I hereby request a correction of tax levied by Albany for the year(s) 2021  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/22</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/12/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error       Error in essential fact       Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904	
	<b>BANK</b>	<b>BILL</b> 230489	<b>TAX MAP NUMBER</b> 65.64-7-28

**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**

ACCOUNT #: 10889  
 DIMENSION: 20.07 X 124  
 ROLL: 1  
 LOCATION: 257 Second St  
 SCHOOL: 010100  
 FULL MARKET VALUE: 96,360  
 UNIFORM % OF VALUE: 93.40%  
 TOTAL ASSESSMENT: 90,000  
 TAXABLE VALUE: 90,000

**PROPERTY OWNER:**  
West Hill Improvement Corp  
117 N Lake Ave  
Albany, NY 12206

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	90,000	3.767995	339.12
City Tax	59,850,000	1.7%	90,000	11.018444	991.66
Delinquent Water			0		232.37
2019 Waste Coll			0		140.00
<b>TOTAL BASE TAXES DUE:</b>					<b>\$1,703.15</b>

Date Paid	Amount Paid
	\$0.00

	Tax Amount	Interest	Total Due
Pay By 2/28/2021	\$1,703.15	\$68.13	\$1,771.28

**TOTAL TAX DUE: 1771.28**



# Application for Corrected Tax Roll

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>35 Lark Street</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany NY</b>
Daytime contact number <b>5184070309</b>	Evening contact number	Tax map number of section/block/lot: Property identification (see tax bill or assessment roll) <b>65.65-5-25</b>	
Account number (as appears on tax bill) <b>10241</b>		Amount of taxes currently billed <b>4080.73 1039.16</b>	
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>			

I hereby request a correction of tax levied by Albany for the year(s) 2021  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/17/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error       Error in essential fact       Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904	
	<b>BANK</b>	<b>BILL</b> 220869	<b>TAX MAP NUMBER</b> 65.65-5-25

**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**

ACCOUNT #: 10241  
 DIMENSION: 22.55 X 106.33  
 ROLL: 1  
 LOCATION: 35 Lark St  
 SCHOOL: 010100  
 FULL MARKET VALUE: 36,403  
 UNIFORM % OF VALUE: 93.40%  
 TOTAL ASSESSMENT: 34,000  
 TAXABLE VALUE: 34,000

**PROPERTY OWNER:**  
Gause Roland C Jr  
35 Lark St  
Albany, NY 12210

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	34,000	3.767995	128.11
City Tax	59,850,000	1.7%	34,000	11.018444	374.63
Delinquent Water			0		116.42
2019 Waste Coll			0		420.00
<b>TOTAL BASE TAXES DUE:</b>					<b>\$1,039.16</b>

Date Paid	Amount Paid
	\$0.00

	Tax Amount	Interest	Total Due
Pay By 2/28/2021	\$1,039.16	\$41.57	\$1,080.73

**TOTAL TAX DUE: 1080.73**



# Application for Corrected Tax Roll

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>36 Bradford Street</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany</b>
Daytime contact number <b>5184070309</b>	Evening contact number	State <b>NY</b>	ZIP code <b>12206</b>
Account number (as appears on tax bill) <b>08317</b>		Tax map number of section/block/lot: Property identification (see tax bill or assessment roll) <b>65.71-1-48</b>	
		Amount of taxes currently billed <b>2313.07 2224.11</b>	
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>			

I hereby request a correction of tax levied by Albany for the year(s) 2021.  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application <input checked="" type="checkbox"/> Deny application <input type="checkbox"/></b>
Signature of official 	Date <b>3/12/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error  Error in essential fact  Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904	
	<b>BANK</b>	<b>BILL</b> 211449	<b>TAX MAP NUMBER</b> 65.71-1-48

**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**

ACCOUNT #: 08317  
 DIMENSION: 15.37 X 51.75  
 ROLL: 1  
 LOCATION: 36 Bradford St  
 SCHOOL: 010100  
 FULL MARKET VALUE: 86,724  
 UNIFORM % OF VALUE: 93.40%  
 TOTAL ASSESSMENT: 81,000  
 TAXABLE VALUE: 81,000

**PROPERTY OWNER:**  
LEMILY WILFRED  
46 Bradford St  
Albany, NY 12206

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	81,000	3.767995	305.21
City Tax	59,850,000	1.7%	81,000	11.018444	892.49
Board Up			0		102.15
Delinquent Water			0		644.26
2019 Waste Coll			0		280.00

**TOTAL BASE TAXES DUE: \$2,224.11**

Date Paid	Amount Paid
	\$0.00

Pay By	Tax Amount	Interest	Total Due
2/28/2021	\$2,224.11	\$88.96	\$2,313.07

**TOTAL TAX DUE: 2313.07**





# Application for Corrected Tax Roll

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>665 N. Pearl Street</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany</b>
			State <b>NY</b>
			ZIP code <b>12204</b>
Daytime contact number <b>5184070309</b>	Evening contact number	Tax map number of section/block/lot: Property Identification (see tax bill or assessment roll) <b>66.21-2-26</b>	
Account number (as appears on tax bill) <b>11584</b>		Amount of taxes currently billed <b>1111.02 1068.29</b>	
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>			

I hereby request a correction of tax levied by Albany for the year(s) 2021.  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>3 1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/17/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error  Error in essential fact  Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904
	<b>BANK</b>	<b>BILL</b> 225275
		<b>TAX MAP NUMBER</b> 66.21-2-26

**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**

ACCOUNT #: 11584  
 DIMENSION: 30 X 90  
 ROLL: 1  
 LOCATION: 665 N Pearl St  
 SCHOOL: 010100  
 FULL MARKET VALUE: 26,767  
 UNIFORM % OF VALUE: 93.40%  
 TOTAL ASSESSMENT: 25,000  
 TAXABLE VALUE: 25,000

**PROPERTY OWNER:**

WILSON ANITA  
665 N Pearl St  
Albany, NY 12204

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	25,000	3.767995	94.20
City Tax	59,850,000	1.7%	25,000	11.018444	275.46
Illegal Trash			0		326.53
Delinquent Water			0		232.10
2019 Waste Coll			0		140.00

**TOTAL BASE TAXES DUE: \$1,068.29**

Date Paid	Amount Paid
	\$0.00

	Tax Amount	Interest	Total Due
Pay By 2/28/2021	\$1,068.29	\$42.73	\$1,111.02

**TOTAL TAX DUE: 1111.02**



# Application for Corrected Tax Roll

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>278 Whitehall Road</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany</b>
Daytime contact number <b>5184070309</b>	Evening contact number <b>21167</b>	State <b>NY</b>	ZIP code <b>12209</b>
Account number (as appears on tax bill) <b>21167</b>		Tax map number of section/block/lot: Property Identification (see tax bill or assessment roll) <b>75.49-1-9</b>	
		Amount of taxes currently billed <b>2548.85 2450.82</b>	
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>			

I hereby request a correction of tax levied by Albany for the year(s) 2021.  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/17/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error  Error in essential fact  Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904
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<b>BANK</b>	<b>BILL</b> 235518	<b>TAX MAP NUMBER</b> 75.49-1-9
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**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**

ACCOUNT #: 21167  
 DIMENSION: 44 X 130  
 ROLL: 1  
 LOCATION: 278 Whitehall Rd  
 SCHOOL: 010100  
 FULL MARKET VALUE: 160,600  
 UNIFORM % OF VALUE: 93.40%  
 TOTAL ASSESSMENT: 150,000  
 TAXABLE VALUE: 150,000

**PROPERTY OWNER:**

Muhammed Salaam  
 Muhammed Bernice  
 278 Whitehall Rd  
 Albany, NY 12209

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	150,000	3.767995	565.20
City Tax	59,850,000	1.7%	150,000	11.018444	1,652.77
Delinquent Water			0		232.85
<b>TOTAL BASE TAXES DUE:</b>					<b>\$2,450.82</b>

Date Paid	Amount Paid
	\$0.00

Pay By 2/28/2021	Tax Amount	Interest	Total Due
	\$2,450.82	\$98.03	\$2,548.85

**TOTAL TAX DUE: 2548.85**



# Application for Corrected Tax Roll

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>50 Edgecomb Street</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany</b>
Daytime contact number <b>5184070309</b>	Evening contact number <b>20875</b>		State <b>NY</b>
Account number (as appears on tax bill) <b>20875</b>		ZIP code <b>12209</b>	
Tax map number of section/block/lot: Property Identification (see tax bill or assessment roll) <b>75.59-2-20</b>		Amount of taxes currently billed <b>4809.31 4,624.34</b>	
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>			

I hereby request a correction of tax levied by Albany for the year(s) 2021  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/17/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error  Error in essential fact  Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904	
	<b>BANK</b>	<b>BILL</b> 215291	<b>TAX MAP NUMBER</b> 75.59-2-20

**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**

ACCOUNT #: 20875  
 DIMENSION: 40 X 136.54  
 ROLL: 1  
 LOCATION: 50 Edgecomb St  
 SCHOOL: 010100  
 FULL MARKET VALUE: 271,949  
 UNIFORM % OF VALUE: 93.40%  
 TOTAL ASSESSMENT: 254,000  
 TAXABLE VALUE: 254,000

**PROPERTY OWNER:**

Mertz Albert J  
 PO Box 387  
 Selkirk, NY 12158

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	254,000	3.767995	957.07
City Tax	59,850,000	1.7%	254,000	11.018444	2,798.68
Illegal Trash			0		500.51
Delinquent Water			0		228.08
2019 Waste Coll			0		140.00

**TOTAL BASE TAXES DUE: \$4,624.34**

Date Paid	Amount Paid
	\$0.00

	Tax Amount	Interest	Total Due
Pay By 2/28/2021	\$4,624.34	\$184.97	\$4,809.31

**TOTAL TAX DUE: 4809.31**



# Application for Corrected Tax Roll

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>65 Grand Street</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany</b>
Daytime contact number <b>5184070309</b>	Evening contact number	State <b>NY</b>	
Account number (as appears on tax bill) <b>04686</b>		ZIP code <b>12207</b>	
Tax map number of section/block/lot: Property Identification (see tax bill or assessment roll) <b>76.49-2-46</b>		Amount of taxes currently billed <b>2965.13 2,851.09</b>	
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>			

I hereby request a correction of tax levied by Albany for the year(s) 2021  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>3/31/2021</b>	Recommendation <b>Approve application <input checked="" type="checkbox"/> Deny application <input type="checkbox"/></b>
Signature of official 	Date <b>3/17/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error  Error in essential fact  Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904
	<b>BANK</b>	<b>BILL</b> 217560
		<b>TAX MAP NUMBER</b> 76.49-2-46

**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**

ACCOUNT #: 04686  
 DIMENSION: 21 X 58  
 ROLL: 1  
 LOCATION: 65 Grand St  
 SCHOOL: 010100  
 FULL MARKET VALUE: 135,974  
 UNIFORM % OF VALUE: 93.40%  
 TOTAL ASSESSMENT: 127,000  
 TAXABLE VALUE: 127,000

**PROPERTY OWNER:**  
LYSIUS JOSIANE I  
913 ROCKWAY Ave  
BROOKLYN, NY 11212

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	127,000	3.767995	478.54
City Tax	59,850,000	1.7%	127,000	11.018444	1,399.34
Board Up			0		144.85
Illegal Trash			0		176.26
Delinquent Water			0		232.10
2019 Waste Coll			0		420.00

**TOTAL BASE TAXES DUE: \$2,851.09**

Date Paid	Amount Paid
	\$0.00

Pay By	Tax Amount	Interest	Total Due
2/28/2021	\$2,851.09	\$114.04	\$2,965.13

**TOTAL TAX DUE: 2965.13**





# Application for Corrected Tax Roll

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>34 Park Ave</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany</b>
Daytime contact number <b>5184070309</b>	Evening contact number	State <b>NY</b>	ZIP code <b>12202</b>
Account number (as appears on tax bill) <b>33574</b>		Tax map number of section/block/lot: Property Identification (see tax bill or assessment roll) <b>76.57-1-61.2</b>	
		Amount of taxes currently billed <del>1205.69</del> <b>1,159.32</b>	
Reasons for requesting a correction to tax roll: The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.			

I hereby request a correction of tax levied by Albany for the year(s) 2021.  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/17/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error  Error in essential fact  Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904	
	<b>BANK</b>	<b>BILL</b> 226907	<b>TAX MAP NUMBER</b> 76.57-1-61.2

**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**

ACCOUNT #: 33574  
 DIMENSION: 22.27 X 65.16  
 ROLL: 1  
 LOCATION: 34 Park Ave  
 SCHOOL: 010100  
 FULL MARKET VALUE: 53,533  
 UNIFORM % OF VALUE: 93.40%  
 TOTAL ASSESSMENT: 50,000  
 TAXABLE VALUE: 50,000

**PROPERTY OWNER:**

Rogers Robert D  
47 Bleecker St  
Albany, NY 12202

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	50,000	3.767995	188.40
City Tax	59,850,000	1.7%	50,000	11.018444	550.92
2019 Waste Coll			0		420.00

**TOTAL BASE TAXES DUE: \$1,159.32**

Date Paid	Amount Paid
	\$0.00

	Tax Amount	Interest	Total Due
Pay By 2/28/2021	\$1,159.32	\$46.37	\$1,205.69

**TOTAL TAX DUE: 1205.69**



# Application for Corrected Tax Roll

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>18 Jeannette Street</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany</b>
			State <b>NY</b>
			ZIP code <b>12209</b>
Daytime contact number <b>5184070309</b>	Evening contact number	Tax map number of section/block/lot: Property identification (see tax bill or assessment roll) <b>76.61-1-9</b>	
Account number (as appears on tax bill) <b>05449</b>		Amount of taxes currently billed <b>2933.44 2,820.62</b>	
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>			

I hereby request a correction of tax levied by Albany for the year(s) 2021  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/17/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):  
Clerical error  Error in essential fact  Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904
	<b>BANK</b>	<b>BILL</b> 219907
		<b>TAX MAP NUMBER</b> 76.61-1-9

**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**

ACCOUNT #: 05449  
 DIMENSION: 24 X 100  
 ROLL: 1  
 LOCATION: 18 Jeannette St  
 SCHOOL: 010100  
 FULL MARKET VALUE: 85,653  
 UNIFORM % OF VALUE: 93.40%  
 TOTAL ASSESSMENT: 80,000  
 TAXABLE VALUE: 80,000

**PROPERTY OWNER:**  
Richards Uriha B  
Waiter-Richards Wanda  
18 Jeannette St  
Albany, NY 12209

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	80,000	3.767995	301.44
City Tax	59,850,000	1.7%	80,000	11.018444	881.48
Illegal Trash			0		1,085.60
Waste Collection Fee			0		90.00
Delinquent Water			0		232.10
2019 Waste Coll			0		140.00
2020 Waste Coll			0		90.00

**TOTAL BASE TAXES DUE: \$2,820.62**

Date Paid	Amount Paid
	\$0.00

	Tax Amount	Interest	Total Due
Pay By 2/28/2021	\$2,820.62	\$112.82	\$2,933.44

**TOTAL TAX DUE: 2933.44**



# Application for Corrected Tax Roll

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>118 Mount Hope Drive</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Albany</b>
			State <b>NY</b>
			ZIP code <b>12202</b>
Daytime contact number <b>5184070309</b>	Evening contact number	Tax map number of section/block/lot: Property identification (see tax bill or assessment roll) <b>87.23 -2-11</b>	
Account number (as appears on tax bill) <b>01389</b>	Amount of taxes currently billed <b>1383.05    1,329.86</b>		
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>			

I hereby request a correction of tax levied by Albany for the year(s) 2021  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application <input checked="" type="checkbox"/>    Deny application <input type="checkbox"/></b>
Signature of official 	Date <b>3/17/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error       Error in essential fact       Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**CITY OF ALBANY - 2021 PROPERTY TAXES**

<b>FISCAL YEAR:</b> 1/1/2021 to 12/31/2021	<b>WARRANT:</b> 12/31/2020	<b>ESTIMATED COUNTY STATE AID:</b> \$96,037,904	
	<b>BANK</b>	<b>BILL</b> 224196	<b>TAX MAP NUMBER</b> 87.23-2-11

**MAKE CHECKS PAYABLE TO:**  
CITY OF ALBANY

**TO PAY IN PERSON:**  
City Hall Room 110  
24 Eagle Street  
Albany, NY 12207  
(518) 434-5035

**PROPERTY INFORMATION:**  
ACCOUNT #: 01389  
DIMENSION: 31.56 X 169.83  
ROLL: 1  
LOCATION: 118 Mount Hope Dr  
SCHOOL: 010100  
FULL MARKET VALUE: 77,088  
UNIFORM % OF VALUE: 93.40%  
TOTAL ASSESSMENT: 72,000  
TAXABLE VALUE: 72,000

**PROPERTY OWNER:**  
Merceron Florence  
416 Ocean Ave Apt 57  
Brooklyn, NY 11226

EXEMPTION	VALUE	FULL VALUE	TAX PURPOSE
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**PROPERTY TAX PAYERS BILL OF RIGHT**

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill. The filing date for this assessment has passed.

LEVY DESCRIPTION	TOTAL TAX LEVY	% CHANGE FROM PRIOR YEAR LEVY	TAXABLE VALUE OR UNITS	RATE	TAX AMOUNT
County Tax	18,495,623	4.6%	72,000	3.767995	271.30
City Tax	59,850,000	1.7%	72,000	11.018444	793.33
Board Up			0		101.18
Delinquent Water			0		164.05
<b>TOTAL BASE TAXES DUE:</b>					<b>\$1,329.86</b>

Date Paid	Amount Paid
	\$0.00

Pay By	Tax Amount	Interest	Total Due
2/28/2021	\$1,329.86	\$53.19	\$1,383.05

**TOTAL TAX DUE: 1383.05**



# Application for Corrected Tax Roll

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>1203 River Road</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Bethlehem</b>
			State <b>NY</b>
			ZIP code <b>12158</b>
Daytime contact number <b>5184070309</b>	Evening contact number	Tax map number of section/block/lot: Property identification (see tax bill or assessment roll) <b>134.00-1-25</b>	
Account number (as appears on tax bill)		Amount of taxes currently billed <b>3241.22</b>	
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>			

I hereby request a correction of tax levied by Albany for the year(s) 2021.  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/16/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error  Error in essential fact  Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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Seq#: 008533

# TOWN OF BETHLEHEM

## 2021 PROPERTY TAX BILL

Bill No: 13531

\*For Fiscal Year 01/01/2021 to 12/31/2021

\* Warrant Date 12/31/2020

Tax ID: 5626

### MAKE CHECKS PAYABLE TO

Receiver of Taxes

PO Box 10698  
Albany, NY 12201-2698  
Phone: (518) 439-4955 Extension 1181

Albany County Land Bank  
255 Orange St  
ALBANY NY 12210

### PAYMENTS

Please review payment options on the reverse side.

### SWIS S/B/L Address & Legal Description

**012200 134.00-1-25**  
**Address:** 1203 RIVER RD  
**Muni:** BETHLEHEM  
**School:** RCS CENTRAL SCHOOL -524  
**NYS Tax & Finance School District Code:**  
1 FAMILY RES Roll Sect: 8  
**Parcel Dimensions:** 50.0000 X 80.0000  
**Bank Code:**

Estimated State Aid: CNTY 96,037,904  
TOWN 1,780,638

### PROPERTY TAXPAYER'S BILL OF RIGHTS

The assessor estimates the **Full Market Value** of this property as of **07/01/2019** was: 56,842  
The Total Assessed Value of this property is: 54,000  
The **Uniform Percentage of Value** used to establish assessments in your municipality was: 095.00 %

If you feel your assessment is too high, you have the right to seek a reduction in the future. For further information, please ask your assessor for the booklet, "How to File a Complaint on Your Assessment". Please note that the period for filing complaints on the above assessment has passed.

Exemption	Value	Tax Purpose	Exemption	Value	Tax Purpose	Exemption	Value	Tax Purpose
EX LND BNK	54,000	CNTY/TWN/SCH						

### PROPERTY TAXES

Taxing Purpose	Total Tax Levy	% Change From Prior Year	Taxable Assessed Value or Units	Rates Per \$1000 Or Per Unit	Tax Amount
COUNTY PURPOSES	14,025,623	1.1	0	3.695200	.00
GENERAL FUND TAX	3,789,377	11.5	0	.998391	.00
HIGHWAY TAX	6,479,744	.0	0	1.707225	.00
WATER DISTRICT #1	2,339,788	.4	0	.599292	.00
ALBANY COUNTY EMS	1,217,885	.9	0	.302960	.00
DELMAR-BETHLEHEM EMS	161,000	2.3	0	.040050	.00
DELINQUENT WATER	203,808	5.0-	3,241	1.000000	3,241.22
SELKIRK FIRE DISTRICT	1,741,000	3.4	0	1.549151	.00

Taxes from one or more prior levies remained due and owing when this statement of taxes was prepared. Payment of the arrears should be made to Albany County Finance, 112 State St., Albany NY 12207, Phone 447-7082. To determine the amount in arrears, contact that office. Continued failure to pay all of the taxes levied against the property will result in loss of the property.

PAYMENT SCHEDULE	Penalty / Int.	Amount	Total Due	TOTAL TAXES DUE: \$3,241.22
Pay By: 2/01/2021	.00	3,241.22	3,241.22	
3/01/2021	32.41	3,241.22	3,273.63	
3/31/2021	64.82	3,241.22	3,306.04	

Apply For Third Party Notification By: CA CH  
Taxes paid by

**012200 134.00-1-25**  
Town of: BETHLEHEM  
School: RCS CENTRAL SCHOOL -524  
Property Address: 1203 RIVER RD

**TOWN OF BETHLEHEM**  
**2021 PROPERTY TAX BILL**  
**Receiver's Stub**

Bill No.: 13531 Tax ID: 5626  
Bank Code:

Albany County Land Bank	Pay by:	2/01/2021	.00	3,241.22	3,241.22
255 Orange St		3/01/2021	32.41	3,241.22	3,273.63
ALBANY NY 12210		3/31/2021	64.82	3,241.22	3,306.04

Total Taxes Due: \$3,241.22

RECEIPTS CAN BE DOWNLOADED FROM WWW.TOWNOFBETHLEHEM.ORG

\*\*RECEIVER STUB MUST BE INCLUDED WITH PAYMENT

000005626000003241224





# Application for Corrected Tax Roll

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>1366 Central Ave</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Colonie</b>
			State <b>NY</b>
			ZIP code <b>12205</b>
Daytime contact number <b>5184070309</b>	Evening contact number	Tax map number of section/block/lot: Property identification (see tax bill or assessment roll) <b>42.17-6-31</b>	
Account number (as appears on tax bill)		Amount of taxes currently billed <b>1887.45</b>	
Reasons for requesting a correction to tax roll: The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.			

I hereby request a correction of tax levied by Town of Colonie for the year(s) 2021.  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/11/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error  Error in essential fact  Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**TOWN OF COLONIE  
GENERAL TAX BILL 2021**

Bill No. 031674  
Sequence No. 14215  
Page No. 1 of 1

\* For Fiscal Year 01/01/2021 to 12/31/2021 \* Warrant Date 12/31/2020

**MAKE CHECKS PAYABLE TO:**

C. Michele Zilgme  
Receiver of Taxes  
Memorial Town Hall  
534 New Loudon Rd  
Latham, NY 12110

**TO PAY IN PERSON**

Town of Colonie  
Memorial Town Hall  
534 New Loudon Rd  
Latham, NY 12110  
Mon - Fri 8:30 am - 4:30 pm

**SWIS S/B/L ADDRESS & LEGAL DESCRIPTION & CK DIGIT**

**012689 42.17-6-31**

**Address:** 1366 Central Ave  
**Town of:** Colonie  
**School:** South Colonie

**NYS Tax & Finance School District Code:**

411 - Apartment **Roll Sect. 8**  
**Parcel Acreage:** 0.25  
**Account No.**  
**Bank Code**

Albany County Land Bank Corp  
69 State St Fl 8  
Albany, NY 12207

**Estimated State Aid:** CNTY 96,037,904  
TOWN 3,849,814

**PROPERTY TAXPAYER'S BILL OF RIGHTS**

The Total Assessed Value of this property is: 50,000  
The **Uniform Percentage of Value** used to establish assessments in your municipality was: 61.00  
The assessor estimates the **Full Market Value** of this property as of **January 1, 2020** was: 82,000

**If you feel your assessment is too high, you have the right to seek a reduction in the future. A publication entitled "Contesting Your Assessment in New York State" is available at the assessor's office and on-line: [www.tax.ny.gov](http://www.tax.ny.gov). Please note that the period for filing complaints on the above assessment has passed.**

<u>Exemption</u>	<u>Value</u>	<u>Tax Purpose</u>	<u>Full Value Estimate</u>	<u>Exemption</u>	<u>Value</u>	<u>Tax Purpose</u>	<u>Full Value Estimate</u>
Land Banks	50,000	CO/TOWN/SCH	81,967				

**PROPERTY TAXES**

<u>Taxing Purpose</u>	<u>Total Tax Levy</u>	<u>% Change From Prior Year</u>	<u>Taxable Assessed Value or Units</u>	<u>Rates per \$1000 or per Unit</u>	<u>Tax Amount</u>
Albany County Tax	34,950,765	3.2	0.00	5.704676	0.00
Colonie Town Tax	24,976,879	2.7	0.00	4.059771	0.00
School Relevy					1,497.88
Fuller Rd Fire Prot. TOTAL	1,059,045	2.0	0.00	1.856574	0.00
Sewer A Land Payment UNITS			6.00	22.671468	136.03
Sewer Oper & Maint UNITS			3.00	61.844590	185.53
Sewer A Debt Payment UNITS			3.00	22.671468	68.01
Latham Water Dist TOTAL	1,553,814	0.0	0.00	.291453	0.00

Property description(s): N-Central Av E-1362 S-90-58

<u>PENALTY SCHEDULE</u>	<u>Penalty/Interest</u>	<u>Amount</u>	<u>Total Due</u>
<b>Due By:</b> 01/31/2021	0.00	1,887.45	1,887.45
02/28/2021	18.87	1,887.45	1,906.32
03/31/2021	37.75	1,887.45	1,925.20

**TOTAL TAXES DUE \$1,887.45**

Apply For Third Party Notification By:

Taxes paid by \_\_\_\_\_ CA CH

**RETURN THE ENTIRE BILL WITH PAYMENT AND PLACE A CHECK MARK IN THIS BOX [ ] IF YOU WANT A RECEIPT OF PAYMENT. THE RECEIVER'S STUB MUST BE RETURNED WITH PAYMENT.**

**GENERAL TAX BILL 2021  
RECEIVER'S STUB**

Bill No. 031674  
**012689 42.17-6-31**  
Bank Code

Town of: Colonie  
School: South Colonie  
Property Address: 1366 Central Ave

<b>Pay By:</b> 01/31/2021	0.00	1,887.45	1,887.45
02/28/2021	18.87	1,887.45	1,906.32
03/31/2021	37.75	1,887.45	1,925.20

Albany County Land Bank Corp  
69 State St Fl 8  
Albany, NY 12207

**TOTAL TAXES DUE  
\$1,887.45**



# Application for Corrected Tax Roll

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>			
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>		Location of property (street address) <b>54 James Street</b>	
City, village, or post office <b>Albany</b>	State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Green Island</b>
Daytime contact number <b>5184070309</b>	Evening contact number	State <b>NY</b>	
Account number (as appears on tax bill)		ZIP code <b>12183</b>	
Tax map number of section/block/lot: Property Identification (see tax bill or assessment roll) <b>20.76-4-13</b>		Amount of taxes currently billed <b>4306.15</b>	
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>			

I hereby request a correction of tax levied by Green Island Albany for the year(s) 2021.  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/16/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error  Error in essential fact  Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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**TOWN OF GREEN ISLAND  
TOWN & COUNTY 2021 TAXES**

For Fiscal Year 01/01/2021 to 12/31/2021

Warrant Date 12/31/2020

Bill No. 000230  
Sequence No. 000137  
Page No. 1 of 1

SWISS S/B/L ADDRESS & LEGAL DESCRIPTION

**MAKE CHECK PAYABLE TO:**

TOWN OF GREEN ISLAND  
TAX COLLECTOR  
ICO CATSKILL HUDSON BANK  
148 GEORGE STREET  
GREEN ISLAND, NY 12183

**TO PAY IN PERSON:**

Catskill Hudson Bank  
148 George Street  
Green Island, NY 12183.  
During Normal Business Hours

**012801 20.76-4-13**

**Address:** 54 James St  
**Muni:** Town of Green Island  
**School:** Green Island 012801  
**NYS Tax & Finance School District Code:** 236  
**Property Class:** 2 Family Res **Roll Section:** 1  
**Property Acreage:** 0.03  
**Account No.**  
**Bank Code:**  
**Mortgage No.**  
**Estimated State Aid:** CNTY 96037904  
TOWN 0  
SCHL 0  
VILL 0

Cusack Richard  
56 Rensselaer Ave  
Cohoes, NY 12047

PROPERTY TAXPAYER'S BILL OF RIGHTS

The assessor estimates the **Full Market Value** as of 07/01/2019

The Total Assessed Value of this property is:

The **Uniform Percentage Value** used to establish assessments in your municipality was:

80100.00  
72900  
91.00

If you feel the assessment on your property is too high, you have the right to file a grievance to lower it for future tax bills. For information, please contact your assessor for the booklet "How to File a Complaint on Your Assessment" and to inquire about exemptions. Any reduction in assessment will NOT be reflected on this bill.

Exemption	Value	Full Value	Tax Purpose	Exemption	Value	Full Value	Tax Purpose
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PROPERTY TAXES

<u>Taxing Purpose</u>	<u>Total Tax Levy</u>	<u>% Change From Prior Year</u>	<u>Taxable Assessed Value or Units</u>	<u>Rates per \$1000 or per Unit</u>	<u>Tax Amount</u>
STATE & FED MANDATES	691207	5.0000	72900.00	3.78942200	276.25
VILLAGE RELEVY	0	0.0000	0.00	0.00000000	2401.97
SCHOOL RELEVY	0	0.0000	0.00	0.00000000	1627.93

Property Description(s):

<u>PAYMENT SCHEDULE:</u>	<u>Penalty/Interest</u>	<u>Amount</u>	<u>Total Due</u>
Pay By: 01/31/2021	0.00	4306.15	4306.15
02/28/2021	45.06	4306.15	4351.21
03/31/2021	88.12	4306.15	4394.27

**TOTAL TAXES DUE: \$4,306.15**

\*Does not include penalty/interest\*

**Original Bill Amount: \$4,306.15**

**DELINQUENT TAXES ARE DUE ON THIS PARCE**

Apply For Third Party Notification By: 12/01/2021

**TOWN OF GREEN ISLAND: TOWN & COUNTY 2021 TAXES**

**Bill No: 000230**

**RECEIVER'S STUB**

**012801 20.76-4-13**

Municipality: Town of Green Island  
School: Green Island 012801  
Property Address: 54 James St

**Bank Code:**

Payments Received:

Cusack Richard  
56 Rensselaer Ave  
Cohoes, NY 12047

**TOTAL TAXES  
\$4,306.15**

Original Bill Amount  
\$4,306.15

\* Indicates Payment made Under Protest

RECEIVER'S STUB MUST BE RETURNED WITH PAYMENT. FOR A RECEIPT OF PAYMENT, PLACE A CHECK MARK IN THIS BOX [ ] AND RETURN THE ENTIRE BILL WITH PAYMENT.

Printed on: 02/23/2021 03:56:33 PM



# Application for Corrected Tax Roll

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>					
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>			Location of property (street address) <b>Rte 156</b>		
City, village, or post office <b>Albany</b>		State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>KNOX</b>	
		State <b>NY</b>	ZIP code <b>12009</b>		
Daytime contact number <b>5184070309</b>		Evening contact number		Tax map number of section/block/lot: Property identification (see tax bill or assessment roll) <b>47-2-26-71</b>	
Account number (as appears on tax bill)			Amount of taxes currently billed <b>801.15 1,798.91</b>		
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>					

I hereby request a correction of tax levied by Town of Knox for the year(s) 2021.  
(County, city, village, etc.)

Signature of applicant

Date

1/7/2021

### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <u>3/11/2021</u>	Period of warrant for collection of taxes <u>1/1/2021</u>
Last day for collection of taxes without interest <u>1/31/221</u>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error  Error in essential fact  Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution

Date

03/12/2021 15:03  
cmurray

COUNTY OF ALBANY  
Real Estate Tax Statement

P 1  
txtaxstm

PARCEL: 04700000020260710000

LOCATION: RT 156

OWNER:  
WALK JENIFER E  
213 PARK AVE  
RENSSALAER NY 12144

STATUS:  
TOTAL ACRES 8.830  
DEFERRED ACRES .000  
LAND VALUATION 21,192  
BUILDING VALUATION 0  
EXEMPTIONS 0  
TAXABLE VALUATION 21,192  
INTEREST PER DIEM 149.66

LEGAL DESCRIPTION:

DEED DATE:

BOOK/PAGE:

INTEREST DATE: 03/12/2021

YEAR	TYPE	BILL	BILLED	PRIN DUE	INT DUE	TOTAL DUE
INST	CHARGE					
2020	RE-9	1171				
1	KNOX TAXES		997.76	997.76	139.69	1,137.45
			997.76	997.76	139.69	1,137.45
GRAND TOTALS			997.76	997.76	139.69	1,137.45

**ALBANY COUNTY - TOWN OF KNOX**

**PROPERTY TAX BILL 2021**

\* For Fiscal Year 01/01/2021 to 12/31/2021 Warrant Date: 12/31/2020

**Bill No. 001522**  
 Sequence No. 1553  
 Page No. 1 of 1

**MAKE CHECKS PAYABLE TO**  
 ELIZABETH WALK, TAX COLLECTOR  
 P.O. Box 205  
 KNOX, NY 12107  
 PHONE: 518-577-2673  
 FAX: 518-486-8818

**TO PAY IN PERSON**  
 DUE TO COVID-19 THERE WILL  
 BE NO PAYMENT IN PERSON  
 PAYMENT BY CHECK,  
 CREDIT CARD OR E-CHECK ONLY  
 PAY ONLINE AT:  
<https://egov.basgov.com/TownofKnox>

**SWIS S/B/L ADDRESS LEGAL DESCRIPTION**  
**013200 47.-2-26.71**  
 Address: Rt 156  
 Muni: Knox  
 School: Guilderland Centr  
 NYS Tax and Finance School District Code:  
 Rural vac<10 Roll Sect. 8  
 Parcel Acreage: 0.00 X 0.00 8.83  
 Bank Code  
 Estimated State Aid: CNTY 96,037,904

013200 47.-2-26.71  
 Albany County Land Bank  
 69 State St Fl 8  
 Albany, NY 12207

**PROPERTY TAXPAYER'S BILL OF RIGHTS**

The assessor estimates the **Full Market Value** of this property as of July 1, 2019 was: \$40,754.00  
 The Total Assessed Value of this property is: \$21,192.00  
 The **Uniform Percentage of Value** used to establish assessments in your municipality was: 52.00

If you feel your assessment is too high, you have a right to seek a reduction in the future. A publication entitled "Contesting your assessment" is available at the assessor's office and online at [www.tax.ny.gov](http://www.tax.ny.gov). Please note that the period for filing complaints on the above assessment has passed.

Exemption	Value	Tax Purpose	Est Full Value	Exemption	Value	Tax Purpose	Est Full Value
WHOLLY EX	21,192	CO/TOWN/SCH	40,754				

**PROPERTY TAXES**

Taxing Purpose	Total Tax Levy	% Levy Change from Prior Year	Taxable Assessed Value or Units	Rates per \$1000 or per Unit	Tax Amount
County Purposes	913,303	7.8	0.00	6.759863	\$0.00
Town	168,000	0.0	0.00	1.239070	\$0.00
Highway	98,525	0.0	0.00	.726663	\$0.00
School Relevy					\$801.15
Knox fire district TOTAL M	297,750	1.6	0.00	2.206261	\$0.00

Taxes from one or more prior levies remained due and owing when this statement of taxes was prepared. Payment of the arrears should be made to Albany County Finance Department, 112 State St Phone 447-7082 or 447-7083. To determine the amount in arrears, contact that office. Continued failure to pay all of the taxes levied against the property will result in your loss of it.

Apply For Third Party Notification By: 8/15/2021 **TOTAL TAXES DUE BY JAN 31st \$801.15**

**PAYMENT SCHEDULE**

**ALL CHECKS SUBJECT TO COLLECTION**

Pay By:	Penalty/Interest	Amount	Total Due	
01/31/2021	\$0.00	\$801.15	\$801.15	
02/28/2021	\$8.01	\$801.15	\$809.16	CA
03/31/2021	\$16.02	\$801.15	\$817.17	CH

Taxes paid by \_\_\_\_\_

**PROPERTY TAX BILL 2021  
 RECEIVER'S STUB**

**Bill No. 001522**  
**013200 47.-2-26.71**  
 Bank Code:

Town Of: Knox  
 School: Guilderland Centr  
 Property Address: Rt 156  
 Albany County Land Bank  
 69 State St Fl 8  
 Albany, NY 12207

Pay By:	Penalty/Interest	Amount	Total Due	TOTAL TAXES DUE
01/31/2021	\$0.00	\$801.15	\$801.15	
02/28/2021	\$8.01	\$801.15	\$809.16	
03/31/2021	\$16.02	\$801.15	\$817.17	<b>\$801.15</b>

**RETURN THE ENTIRE BILL WITH PAYMENT AND PLACE A CHECK MARK IN THIS BOX [ ] IF YOU WANT A RECEIPT OF PAYMENT. THE RECEIVER'S STUB MUST BE RETURNED WITH PAYMENT.**



# Application for Corrected Tax Roll

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>					
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>			Location of property (street address) <b>901 12<sup>th</sup> Street</b>		
City, village, or post office <b>Albany</b>		State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Colonie</b>	
		State <b>NY</b>	ZIP code <b>12189</b>		
Daytime contact number <b>5184070309</b>		Evening contact number		Tax map number of section/block/lot: Property Identification (see tax bill or assessment roll) <b>32.19-2-25</b>	
Account number (as appears on tax bill)			Amount of taxes currently billed <b>1258.64</b>		
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>					

I hereby request a correction of tax levied by Waterliet for the year(s) 2021.  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
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### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/16/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error  Error in essential fact  Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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Watervliet City School District  
518-629-3225

# NOTICE OF UNPAID SCHOOL TAXES

Reflects payments posted through: 01/10/2021

Watervliet City School District  
1245 Hillside Drive  
Watervliet NY 12189-1798

2020-001586

Our records indicate that the taxes listed below  
are unpaid.

If your records disagree, please contact us  
immediately at 518-629-3225.

If your taxes are paid through an escrow agent,  
you should contact your lender.  
US Postmark determines date of payment.

ALBANY CO LAND BANK CORP.  
69 STATE ST FL 8  
ALBANY NY 12207

Seq # 208

32.19-2-25

\*\*\*Keep this portion for your records\*\*\*

\*\*\*Cut on this line and return bottom portion with your payment\*\*\*

1 SEND STUB WITH PAYMENT

2020-2021 Past Due installment 1 tax



2 0 2 0 - 0 0 1 5 8 6 - 1

<u>If Paid Between:</u>	<u>Penalty</u>	<u>Penalty Amt</u>	<u>Total Due</u>
<b>Jan 01 - Jan 31</b>	<b>4.00 %</b>	<b>\$48.41</b>	<b>\$1,258.64</b>
Feb 01 - Feb 28	5.00 %	\$60.51	\$1,270.74
Mar 01 - Mar 31	6.00 %	\$72.61	\$1,282.84

Reflects Payments posted through: 01/10/2021

Address: 901 12TH ST  
SBL: 32.19-2-25  
SWIS: 012689  
Bill Number: 2020-001586

**MAKE PAYABLE TO:**  
**WATERVLIET CITY SCHOOL DISTRICT**  
**MAIL PAYMENT WITH REMITTANCE STUB TO:**  
ATTN: BUSINESS OFFICE  
1245 HILLSIDE DRIVE  
WATERVLIET NY 12189-1798



# Application for Corrected Tax Roll

### Part 1 – General information: To be completed in duplicate by the applicant.

Names of owners <b>Albany County Land Bank Corporation</b>					
Mailing address of owners (number and street or PO box) <b>69 State Street 8th Floor</b>			Location of property (street address) <b>1297 Broadway</b>		
City, village, or post office <b>Albany</b>		State <b>NY</b>	ZIP code <b>12207</b>	City, town, or village <b>Watervliet</b>	
		State <b>NY</b>	ZIP code <b>12189</b>		
Daytime contact number <b>5184070309</b>		Evening contact number		Tax map number of section/block/lot: Property identification (see tax bill or assessment roll) <b>32.83-1-35</b>	
Account number (as appears on tax bill) <b>1075-0</b>			Amount of taxes currently billed <b>7065.99</b>		
Reasons for requesting a correction to tax roll: <b>The ACLB is tax exempt upon the day of transfer of title, notwithstanding the applicable taxable status date.</b>					

I hereby request a correction of tax levied by Watervliet for the year(s) 2021.  
(County, city, village, etc.)

Signature of applicant 	Date <b>1/7/2021</b>
----------------------------	-------------------------

### Part 2 – To be completed by the County Director or Village Assessor. Attach a written report including documentation and recommendation. Specify the type of error and paragraph of subdivision 2, 3, or 7 of Section 550 under which the error falls.

Date application received <b>3/11/2021</b>	Period of warrant for collection of taxes <b>1/1/2021</b>
Last day for collection of taxes without interest <b>1/31/2021</b>	Recommendation <b>Approve application</b> <input checked="" type="checkbox"/> <b>Deny application</b> <input type="checkbox"/>
Signature of official 	Date <b>3/16/2021</b>

If approved, the County Director must file a copy of this form with the assessor and board of assessment review of the city/town/village of \_\_\_\_\_ who must consider the attached report and recommendation as equivalent of petitions filed under section 553.

### Part 3 – For use by the tax levying body or official designated by resolution \_\_\_\_\_ : (insert number or date, if applicable)

Application approved (mark an X in the applicable box):

Clerical error  Error in essential fact  Unlawful Entry

Amount of taxes currently billed	Corrected tax
Date notice of approval mailed to applicant	Date order transmitted to collecting officer

Application denied (reason): \_\_\_\_\_

Signature of chief executive officer, or official designated by resolution	Date
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# 2021 CITY OF WATERVLIET TAX BILL

Bill No. 001904  
 Sequence No. 001002  
 Page No. 01 of 01

Fiscal Year: 01/01/21 to 12/31/21

Warrant Date: 12/31/20

**MAKE CHECKS PAYABLE TO:**  
 City of Watervliet  
 2 15th Street  
 Watervliet, NY 12189

**TO PAY IN PERSON:**  
 Pioneer Bank 518-273-0317  
 2000 2nd Ave, Watervliet, NY

Finance Office Phone:  
 518-270-3800 x 117 or 118

SWIS Tax Map# Check Digit  
 011800 32.83-1-35  
 Property Location: 1297 BROADWAY  
 City Name: WATERVLIET  
 School Name: Watervliet

Property Class: 421 Restaurant  
 Roll Sect: 1  
 Parcel Dimensions: 120.00 x 120.00

Account No.: 1075-0  
 Bank Code:  
 Mortgage No.:

Estimated State Aid: CNTY 96,037,904  
 CITY 1,210,193

ACLB LLC  
 69 STATE ST FL 8  
 ALBANY, NY 12207

**PROPERTY TAXPAYER'S BILL OF RIGHTS:**

The assessor estimates the Full Market Value of this property: 342,697  
 The Total Assessed value of this property is: 305,000  
 The Uniform Percentage of Value used to establish assessments in your municipality was: 89.00  
 A publication entitled 'Contesting Your Assessment in New York State' is available at the Assessor's office or online at [www.tax.ny.gov](http://www.tax.ny.gov).  
 Please note that the period for filing complaints on this assessment has passed. Apply for 3rd Party notification by contacting the Tax Collector, Town Assessor, or County Real Property Tax Office. If you are over 65, you may be eligible for a senior citizen exemption. For information, contact your Assessor's office. You MUST apply by March 1st of 2021 for the next year's tax cycle.

Exemption	Value	Tax Purpose	Full Value Estimate	Exemption	Value	Tax Purpose	Full Value Estimate
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Property Taxes	Total Tax Levy	% Chg From Prior Yr	Taxable Value	Tax Rate per \$1000	Tax Amount
Taxing Purpose	1,525,687	4.7	305,000.00	3.937552	1,200.95
COUNTY PURPOSES	5,526,246	5.8	305,000.00	14.229636	4,340.04
CITY TAX			0.00		1,525.00
VACANT BLD RELEVY					

Penalty Schedule	Penalty/Int	Amount	Total Due
Due By: 01/31/21	0.00	7,065.99	7,065.99
02/28/21	70.66	7,065.99	7,136.65
03/31/21	141.32	7,065.99	7,207.31
04/30/21	211.98	7,065.99	7,277.97
05/31/21	282.64	7,065.99	7,348.63

<b>TOTAL TAXES DUE BY 01/31/21:</b>	<b>7,065.99</b>
-------------------------------------	-----------------

RETURN THE ENTIRE BILL WITH PAYMENT AND PLACE A CHECK MARK IN THIS BOX [ ] IF YOU WANT A RECEIPT OF PAYMENT. THE RECEIVER'S STUB MUST BE RETURNED WITH PAYMENT.

City of Watervliet

Bill No. 001904

Tax Map: 011800 32.83-1-35  
 Location: 1297 BROADWAY

<b>TOTAL TAXES DUE BY 01/31/21:</b>	<b>7,065.99</b>
-------------------------------------	-----------------

Owner: ACLB LLC  
 69 STATE ST FL 8  
 ALBANY, NY 12207

