



# INDUSTRIAL & COMMERCIAL PROPERTY REVITALIZATION

## — APPLICATION

### HOW TO SUBMIT HARDCOPY APPLICATION:

Complete & Submit Physical Hardcopies To:

Office of the Albany County Executive  
112 State Street  
Albany, NY 12207

*Only fully completed and signed applications will be considered for funding*

### ALL INQUIRIES SHOULD BE DIRECTED TO:

Tom Vouzakis  
Vice President  
Capital Markets Advisors, LLC  
Email: [tvouzakis@capmark.org](mailto:tvouzakis@capmark.org)

### APPLICATION DETAILS:

Albany County is seeking applications from property owners in need of funding to accelerate the revitalization and reuse of vacant or abandoned industrial or commercial properties in disadvantaged communities within Albany County. The County is dedicating up to \$1 million of ARPA funding for this program. Eligible uses include rehabilitation or maintenance, renovation, removal and remediation of environmental contaminants, demolition or deconstruction, or greening/vacant lot cleanup. Priority will be given to applications focused on brownfield sites. In order to comply with federal ARPA eligibility guidelines, properties must be in areas “disproportionately impacted” by the COVID-19 pandemic. For the purposes of this application any Albany County properties in “Disadvantaged Communities” as shown on the New York State Disadvantaged Communities map will be considered eligible:

<https://www.nyserda.ny.gov/ny/Disadvantaged-Communities>.

Preference will be afforded to:

1. Properties located within Qualified Census Tracts.
2. Brownfield properties

## APPLICATION DETAILS, ELIGIBILITY AND RESTRICTIONS:

**Competitive Process.** Funds will be awarded only after the completion, submission, and review of a FULL application. Incomplete or deficient applications will be disqualified for consideration by the County. Completion of an application is not a guarantee of an award. Applications will be reviewed, and investments will be made at the discretion of the County.

**Award Structure.** Awards may be provided by the County in the form of grants, loans, forgivable loans or any combination thereof. The County reserves the right to not fund a project, or to fund it at a lower amount than requested.

**Decision Process.** Each proposed project and applicant will be subject to the County's standard ARPA decision making process in order to ensure ARPA eligibility, ability of applicants to meet the reporting and compliance requirements as set forth by the US Treasury and to determine the best and most strategic use of funds.

**Application Deadline:** Applications will be accepted until 5pm on Friday June 30, 2023.

**Award Notification:** Applicants will be notified of application status in August of 2023. Once approved, successful applicants will be required to complete intake forms and enter into a contract with the County.

**Application Assistance.** The County of Albany will be hosting information sessions during the application open period to assist grant applicants. For more information visit [www.AlbanyCountyARPA.org](http://www.AlbanyCountyARPA.org)

**Federal Eligibility.** County awards must be expended in compliance with applicable Local, State and Federal law. The use of funds must address impacts associated with the COVID-19 Pandemic. For additional information, see Federal regulations below:

<https://home.treasury.gov/policy-issues/coronavirus/assistance-for-state-local-and-tribal-governments/stat%20e-and-local-fiscal-recovery-funds>

**Eligible Organizations.** To be eligible for consideration, applicants must own or otherwise demonstrate control of the property where improvements are proposed. Properties must be located in Disadvantaged Communities in Albany County as determined by the following map: (<https://www.nyserda.ny.gov/ny/Disadvantaged-Communities>)

**Award Restrictions.** Awarded funds may not be used to pay taxes, fees, or any other payments due to the County of Albany. In addition, organizations or entities shall not be permitted to use funds for expenses that already have been or will be covered by any other local, state, or federal assistance program.

**Award Term.** All funds must be expended by December 31, 2026. The ability to expend funds in full by this date is a requirement for application consideration.

**Award Amounts.** Up to \$500,000. The County anticipates making several awards.

**Grading Criteria.** Applications will be graded on the following criteria:

- Applicant experience and capabilities
- Consistent with County ED strategy
- Project Readiness/ability to meet timeline
- Impact of site redevelopment

## GENERAL INFORMATION:

Date of application: 6/28/23

Please select property owner type:

Private	<input type="checkbox"/>
Nonprofit	<input type="checkbox"/>
Municipal	<input checked="" type="checkbox"/>
Other	<input type="checkbox"/>

If "Other," specify here:

Property owner name: City of Watervliet

Applicant contact information:

Name: Charles V Patricelli

Title: Mayor

Phone: 518-270-3835

Email: cpatricelli@watervliet.com

Preferred method of contact: either

Website (if available) www.watervliet.com

Property type:

Commercial	<input type="checkbox"/>
Industrial	<input type="checkbox"/>
Other	<input checked="" type="checkbox"/>

If "Other," specify here:

Municipal

## SITE INFORMATION:

### What is the name and address of the site?

Site name (if applicable)	Watervliet Community Center
Site address	1501 First Steet
City / State / Zip	Watervliet, NY 12189

### Please provide details about the site:

Site zoning	MU-1 Mixed Use 1
Size (square feet or acres)	6500
Assessed value of site	385,000
Date of last assessment	June 2023

### Is the site located in a Brownfield Opportunity Area or Qualified Census Tract?

Yes	<input type="checkbox"/>
No	<input checked="" type="checkbox"/>

### Is the site located in a disadvantaged community?

(For a map, see: <https://www.nyserda.ny.gov/ny/Disadvantaged-Communities>)

Yes	<input checked="" type="checkbox"/>
No	<input type="checkbox"/>

WATERVLIET IS A DESIGNATED DISADVANTAGED COMMUNITY



## PROJECT INFORMATION:

Please identify the amount of funding requested by category:

<i>Purpose</i>	<i>Amount</i>
Rehabilitation or Maintenance	
Renovations	\$100,000
Removal and Remediation of Environmental Contaminants	
Demolition or Deconstruction	
Greening / Vacant Lot	
Other	

If "Other" above, please specify here:

Please identify the building category (check all that apply)

Vacant	<input checked="" type="checkbox"/>
Abandoned	<input type="checkbox"/>
Surplus	<input type="checkbox"/>
Demolition or Deconstruction	<input type="checkbox"/>
Condemned	<input type="checkbox"/>
Blighted	<input type="checkbox"/>

Please describe current site conditions (you may attach images as appropriate):

The current site condition is an abandoned church at 1501 1st Ave Watervliet, NY that the City of Watervliet took full ownership of about 15 years ago. The decision has been made to transition the building into our Watervliet Community Center. The building is in need of repairs to electrical and plumbing systems, HVAC, roof repairs and asbestos abatement. It needs new ADA rest rooms, carpentry repair, painting and a new ADA ramp for the entrance. The site is in a good location adjacent to the City Hall and Senior/Library and already has adequate parking. The building structure and envelope is good shape. The overall substandard and decaying condition will be repaired and renovated with this project.

Some sample photos attached

**SUPPORT DOCUMENTATION**  
**ILLUSTRATIVE PHOTOS**

## MISC. SITE PHOTOS





**In Specific Terms, Describe the Reuse Strategy for the Site including total project budget. Describe whether ARPA funds will lead to completion of site redevelopment or prepare the site for future redevelopment efforts (you may attach any site plans or renderings):**

The Reuse Strategy for this abandoned church in a project of rehabilitation and renovation that will result in a Watervliet Community Center facility. Watervliet currently does not have a community center and this facility will fill a need in our community. The building was abandoned and acquired by the city over 10 years ago in anticipation of this renovation and facility improvement. ARPA funds in conjunction with other grants and local Watervliet resource will finally provide the financing to transition this building into a fully functioning community center. We have attached some site plans as part of this application.

**Describe any past experience with similar projects (including location and outcome):**

The City of Watervliet planned and implemented many similar project to this over the years and using federal funding for many of the construction. Watervliet used federal funds to repair and provide new construction of a dam and storm water system. In 2011 \$300,000 in funding was successfully managed to complete the project. The City has successfully completed various FEMA capital improvement projects (2005 and 2017) and is currently is managing a housing construction renovation and rehabilitation project using federal HUD funding. Watervliet has had extensive experience with similar projects.

**Describe how the proposed project will have a positive economic impact on the local community and/or County. To the greatest degree possible please quantify investment, job creation and any other benefits:**

The project will have a very positive economic impact on our community. The project will help create temporary construction jobs and once complete it is anticipated that the Community Center will have 2 or 3 staff persons. This Community Center will operate as a public venue for many activities and support activities such as art event, job fairs, craft markets, community outreach organizations and other community support organizations. There is currently no central location for these types of civic activities. Overall it can be the hub and the meeting place for our community program support efforts.

**What is the proposed project start date?**

Start date was February 2023

**What is the anticipated completion date?**

Completion Date December 1, 2023

**Describe status of permits, zoning or other regulatory requirements:**

The project was issued a City of Watervliet Building Permit

Please provide key project milestones inclusive of the anticipated timelines and descriptions

<i>Milestone</i>	<i>Anticipated Timeline</i>	<i>Task Description</i>
ADA ramp/sidewalks	completed 7/1/23	new ADA ramp sidewalk stair repair
Roof work/abatement	anticipated July to Sept 2023	roof repair abatement work
Electrical, bathroom, plumbing	July to November 2023	New ADA Bathrooms. ADA Lift, electrical and plumbing

**Explain why ARPA funds are needed to complete the project. Would improvements be made without ARPA assistance or assistance to a lesser degree?**

These ARPA funds are needed to complete this Community Center renovation project because without these funds all improvement needed for the project would not be made until a funding source was found to assist in the costs. ARPA support will provide the funds to totally complete the project.

I certify that, if awarded, ARPA funding will not displace any other project funding:

Yes	<input checked="" type="checkbox"/>
No	<input type="checkbox"/>

<b>REVENUE</b>		<b>Proposed ARPA Funds</b>	<b>Other Funds</b>	<b>Total Funds (ARPA + Other)</b>
1	ARPA FUNDS	\$100,000		
2	Other Grants - Federal			
3	Other Grants - State		\$300,000	
4	Other Grants - Local Government			
5	Other Grants - Private			
6	Self-Contributions			
7	Fundraising Events			
8	Other Forms of Revenue ( <i>Specify Below</i> )		\$292,320	
<b>Total Anticipated Revenue</b>				<b>\$692,320</b>



EXPENDITURES		Proposed ARPA Uses	Other Uses	Total Uses (ARPA + Other)
<b>Acquisition</b>				
1.	Land			
2.	Building			
<b>General Construction</b>				
3.	New Construction			
4.	Renovation	\$100,000	\$592,320	\$692,320
<b>Infrastructure / Site Preparation</b>				
5.	Demolition			
6.	On-Site Streets			
7.	Parking			
8.	Water/Sewer			
9.	Water/Sewer			
10.	Excavation/Grading			
11.	Environmental Cleanup			
<b>Indirect of Soft Costs</b>				
12.	Professional Service/Consultants			
13.	Engineering			
14.	Inspections			
15.	Fees			
16.	Insurance			
17.	Environmental Assessment			
18.	Legal Costs			
19.	Closing Costs			
20.	Contingencies			
<b>Miscellaneous Costs</b>				
21.	Other Costs (Specify Below)			
<b>Total Anticipated Expenditures</b>				\$692,320
<b>TOTAL REVENUE LESS EXPENDITURES</b>				0

**Use this space to provide a narrative describing and supporting any expenditure categories listed above. Attach any quotes that you have received for listed expenditures:**

For the Renovation category listed above with the total budget estimate of \$692,320 quotes and bids we have received for listed expenditures include :

Bubonia Construction for ADA Sidewalk , ADA ramp and stair repair	\$172,638
Gallo Construction Roof/Abatement	\$203,632
MJG Construction Co. electrical/plumbing ADA bathroom/ ADA lift	\$316,050
	-----
Total	\$692,320

All quotes and bids pursuant to competitive bidding requirements and Watervliet Procurement Policy

Documents attached

# **SUPPORT DOCUMENTATION**

## **QUOTES AND BIDS FOR WORK BY CONTRACTORS**

**(work will continue  
thru December 2023 as needed)**



**THE COUNCIL OF THE CITY OF WATERVLIELT**

**RESOLUTION NO. 37 for 2023**

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**A RESOLUTION AWARDDING A CONTRACT FOR THE ROOF  
REPLACEMENT AND REMOVAL OF ASBESTOS AT THE DUTCH  
REFORMED CHURCH AND AUTHORIZING MAYOR CHARLES V.  
PATRICELLI TO EXECUTE ALL REQUIRED DOCUMENTS  
REGARDING SAME**

**WHEREAS,** The City of Watervliet solicited proposals for the replacement of the roof and removal of asbestos from the Dutch Reformed Church located at 1501 15<sup>th</sup> Street Watervliet; and

**WHEREAS,** The City of Watervliet received one response to the Request for Proposals from Gallo Construction Corp. for \$203,632.00; and

**WHEREAS,** General Manager Joseph LaCivita has recommended that the Council for the City of Watervliet award the contract to Gallo Construction Corp of 50 Lincoln Avenue, Watervliet, NY 12189 in the amount of \$203,632.00.

**NOW, THEREFORE, BE IT RESOLVED that:**

1. The Council of the City of Watervliet hereby awards the contract for roof replacement and asbestos removal at the Dutch Reformed Church for \$203,632.00 to Gallo Construction Corp. of 50 Lincoln Avenue, Watervliet NY 12189.
2. Mayor Charles V. Patricelli is hereby authorized to execute an agreement and all related documents regarding this award.
3. This Resolution shall take effect immediately.

Introduced by:

Moved by:

Seconded by:

Adopted by the following vote:

Ayes - - -

Nays - - -

March 1, 2023

**THE COUNCIL OF THE CITY OF WATERVLIET**

**RESOLUTION NO. 16 for 2023**

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**A RESOLUTION AWARDING A CONTRACT FOR THE INSTALLATION OF A  
CONCRETE ADA ENTRY RAMP AT THE FORMER DUTCH REFORM  
CHURCH AND AUTHORIZING CHARLES V. PATRICELLI TO EXECUTE  
ALL REQUIRED DOCUMENTS REGARDING SAME**

**WHEREAS,** The City of Watervliet issued a Request for Proposals as required by law and the City's Procurement Policy for the installation of a ADA compliant concrete access ramp at the former Dutch Reform church located at 1501 15 Street, Watervliet, NY 12189; and

**WHEREAS,** Seven (7) proposals were received for the project as follows:

Bubonia General Contracting	\$148,800.00
Duncan & Cahill Inc	\$162,000.00
MA Schafer Construction	\$178,100.00
Mid State Industries, Inc	\$205,000.00
DeBrino Caulking Associates	\$224,825.00
Gallo Construction Co.	\$259,000.00
AJ Catalfamo Construction Co.	\$268,500.00; and

**WHEREAS,** the General Manager Joseph LaCivita has reviewed the proposals and recommends that the Council for the City of Watervliet award the contract for the installation of a concrete ADA ramp at the former Dutch Reform Church to Bubonia General Contracting in the amount of \$148,800.00.

**NOW, THEREFORE, BE IT RESOLVED that:**

1. The Council of the City of Watervliet hereby awards the contract for the installation of a concrete ADA ramp to Bubonia General Contracting of 18 W. Albany Dr. Albany, NY 12205 in the amount \$148,800.00.
2. Mayor Charles V. Patricelli is hereby authorized to execute an agreement with Gallo Construction Corp. and all documents required regarding this award.
3. This Resolution shall take effect immediately.

Introduced by:

Moved by:

Seconded by:

Adopted by the following vote:

Ayes - - -

Nays - - -

September 1, 2022

**THE COUNCIL OF THE CITY OF WATERVLIET**

**RESOLUTION NO. 44 for 2023**

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**A RESOLUTION APPROVING CHANGE ORDER #1 FOR THE GRADING AND DRAINAGE AT THE FORMER DUTCH REFORMED CHURCH AND AUTHORIZING CHARLES V. PATRICELLI TO EXECUTE ALL REQUIRED DOCUMENTS REGARDING SAME**

**WHEREAS**, The City of Watervliet issued a Request for Proposals and awarded a contract by Resolution No. 16 for 2023 to Bubonia General Contracting for concrete ramp and sidewalk improvements at the former Dutch Reformed Church located at 1501 1st Avenue, Watervliet, NY 12189; and

**WHEREAS**, a change order is required to adjust for grade elevations and unanticipated drainage issues; and

**WHEREAS**, the General Manager Joseph LaCivita has reviewed the Change Order #1 and, after consultation with the City's architects, recommends that the Council for the City of Watervliet approve Change Order #1 in the amount of \$23,838.00.

**NOW, THEREFORE, BE IT RESOLVED that:**

1. The Council of the City of Watervliet hereby approves Change Order #1 to the contract with Bubonia General Contracting in the amount \$23,838.00.
2. Mayor Charles V. Patricelli is hereby authorized to execute the Change Order and all documents required regarding this award.
3. This Resolution shall take effect immediately.

Introduced by:

Moved by:

Seconded by:

Adopted by the following vote:

Ayes - - -

Nays - - -

June 14, 2023

**THE COUNCIL OF THE CITY OF WATERVLIET**

**RESOLUTION NO. 45 for 2023**

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**A RESOLUTION AWARDING A CONTRACT FOR THE INSTALLATION OF A  
BATHROOM AND ADA LIFT AND ELECTRICAL UPGRADES AT THE  
DUTCH REFORMED CHURCH AND AUTHORIZING MAYOR CHARLES V.  
PATRICELLI TO EXECUTE ALL REQUIRED DOCUMENTS FOR THE  
PROJECT UNDER NYS CDBG GRANT 1210PF54-20**

**WHEREAS**, the City of Watervliet was awarded NYS CDBG Grant 1210PF54-20 to fund repairs and improvements to the Watervliet Community Center building located at 1501 1<sup>st</sup> Avenue, Watervliet, NY 12189, formerly known as the Dutch Reformed Church; and

**WHEREAS**, The City of Watervliet solicited proposals for the installation of a bathroom, ADA Lift and electrical upgrades at the Dutch Reformed Church; and

**WHEREAS**, The City of Watervliet received two (2) responses to the solicitation; and

**WHEREAS**, General Manager Joseph LaCivita has recommended that the Council for the City of Watervliet award the contract to MJG Construction, LLC, of 61 Skylark Drive, Ballston Spa, NY 12020, in the amount of \$340,050.00.

**NOW, THEREFORE, BE IT RESOLVED that:**

1. The Council of the City of Watervliet hereby awards the contract for the installation of a bathroom, ADA Lift and electrical upgrades at the Dutch Reformed Church to MJG Construction, LLC, of 61 Skylark Drive, Ballston Spa, NY 12020, in the amount of \$340,050.00.
2. Mayor Charles V. Patricelli is hereby authorized to execute an agreement and all related documents regarding this award.
3. This Resolution shall take effect immediately.

Introduced by:

Moved by:

Seconded by:

Adopted by the following vote:

Ayes - - -

Nays - - -

June 14, 2023

## RISK ASSESSMENT:

**Has the organization adopted and/or implemented policies relating to: records retention, conflict of interest, code of ethics, and/or nondiscrimination policies?**

The City of Watervliet has adopted policies relating to ethics, affirmative action, fair housing policy and a Code of Ethics in Chapter 28 of the Municipal Code and City Charter. These policies are reviewed and updated each year

← Yes	X
No	

**Is the Organization properly licensed or certified by a recognized source (i.e., bonded and insured if performing construction-related activities, etc.)?**

The City of Watervliet is a municipality and one of the 62 cities in New York State first established in 1788 and chartered by the State of New York in 1920. The city is fully insured and requires any contractor performing work to indemnify and hold the city harmless from any action

← Yes	X
No	

**Does the organization have a financial management system?**

The City of Watervliet operates a municipal government pursuant to the NYS Local Finance Laws and the rules and regulations of the NYS Comptroller. The Watervliet Director of Finance is a CPA who operates and manages all financial aspects of the city government including capital construction management.

← Yes	X
No	

**Has there been any change in your organization's key staffing positions in the last 2 years? If "**

i There have been no changes - hirings or terminations - in keys staff or management positions in the last 2 years.

← Yes	
No	X

**Has the organization previously done work for the Federal government (i.e. Is the entity experienced in managing federal funds)?**

Yes. Watervliet has managed federal funds in conjunction with FEMA grant programs, Department of Energy grants, Depart. of Housing and Urban Development grants (CDBG) and Dept of Commerce funding. management of these grant programs has occurred over the last 30 years.

← Yes	X
No	

## CERTIFICATIONS:

### Future ARPA Reporting & Compliance Acknowledgments

**(All boxes must be initialed for consideration by the County of Albany, New York)**

CVP	I have read and understand the U.S. Treasury's compliance and reporting guidance for State and Local Fiscal Recovery Funds ( <b>see link below</b> )
CVP	Should the County allocate ARPA funds, I am able to and pledge to adhere to all compliance and reporting requirements of the U.S. Treasury as it relates to any State and Local Fiscal Recovery Funds
CVP	I understand the County will contact me if/when additional information is needed and that information will be promptly provided to the county to support reporting requirements
CVP	If for any reason I am unable to comply with the U.S. Treasury's compliance and reporting requirements I will immediately notify the County in writing by email or letter
CVP	All information submitted in this application is true & accurate

### LINK TO THE U.S. TREASURY'S COMPLIANCE AND REPORTING GUIDANCE FOR STATE AND LOCAL FISCAL RECOVERY FUNDS:

[HTTPS://HOME.TREASURY.GOV/SYSTEM/FILES/136/SLFRF-COMPLIANCE-AND-REPORTING-GUIDANCE.PDF](https://home.treasury.gov/system/files/136/SLFRF-COMPLIANCE-AND-REPORTING-GUIDANCE.PDF)

The County is careful about identifying and avoiding conflicts of interest, especially with grants awarded through the County. A conflict of interest arises when a person's self-interest and professional interest or public interest intersect. In this situation, there is the potential for biased professional judgment and lack of objectivity which creates a serious conflict when one of the interests can benefit financially or personally from actions or decisions made in the official capacity. A conflict of interest exists whether or not decisions are affected by a personal interest; there only needs to be the possibility of bias for a conflict. If your organization knows of a possible conflict of interest with your application for funds please disclose that information here. Otherwise write "None."

NONE

**If Available, Please Provide Your Unique Entity Identifier (From SAM.gov)**

SMVBWLW2G7M5

## SIGNATURE:

### Signature Agreement

Signature:

*Charles V. Patricelli*

Print Name:

Charles V Patricelli, Mayor

Date:

6/29/23

*The Applicant covenants to save, defend, hold harmless and indemnify the County of Albany, and all of its officers, departments, agencies, agents and employees (Collectively the "County") from and against any and all claims, losses, damages, injuries, fines, penalties, costs (including court costs and attorney's fees), charges, liability or exposure, however caused, resulting from, arising out of, or in any way connected with this application. The Applicant provides a waiver of confidential information provided to the County and authorizes the internal use of this information for the award analysis. The Applicant acknowledges that the County will keep all proprietary information voluntarily provided by the Applicant confidential to the extent permitted by the New York Freedom of Information Act and other applicable laws and regulations pertaining to the disclosure of records in its possession, and acknowledges that all grant award decisions are final and are not subject to appeal. I certify that I have read and understand and am authorized to complete and submit this application on behalf of the Applicant. I verify that the statements contained herein are true, accurate and complete. I acknowledge that false and inaccurate statements made on the application are grounds for immediate rejection of the application.*

## ATTACHMENTS:

### **Please Attach:**

1. Federal Tax Returns for Tax Years 2019 through 2021
2. Federal Tax Returns for Tax Year 2022 (If Available)
3. IRS Form W-9 Request for Taxpayer Identification Number & Certification



**SUPPORT DOCUMENTATION  
DRAWINGS**

CLIENT:

CITY OF WATERVLIET

2 FIFTEENTH STREET

WATERVLIET, NEW YORK 121889

PROJECT:

NEW TOILET ROOM, HANDICAP LIFT AND ELECTRCIAL UPGRADES

DUTCH REFORM CHURCH

1501 1st AVENUE

WATERVLIET, NEW YORK 12189

ENUMERATION OF DRAWINGS:

C1.1	COVER SHEET
HAZARDOUS MATERIALS	
H2-101	ASBESTOS ABATEMENT BASEMENT PLAN
ARCHITECTURAL	
A1.1	BASEMENT PLAN
A1.2	PROPOSED FLOOR PLAN
A4.1	INTERIOR DETAILS & FINISH SPECIFICATIONS
A8.1	DOOR SCHEDULE AND DETAILS
A8.1	SECTIONS AND DETAILS
A8.2	MISC. DETAILS
A10.1	WALL TYPES
PLUMBING	
P000	PLUMBING LEGEND AND DETAILS
P100	BASEMENT PLUMBING PLAN
P101	FIRST FLOOR PLUMBING
ELECTRICAL	
ER01	ELECTRICAL REMOVALS PLAN
E000	ELECTRICAL LEGEND, ABBREVIATION & NOTES
E100	BASEMENT AND LEVEL 1 LIGHTING PLANS
E101	LEVEL 2 AND ATTIC LIGHTING PLANS
E200	POWER PLANS
E201	POWER PLAN
E401	POWER RISER DIAGRAMS
E500	PANELBOARD SCHEDULES

DESIGN TEAM:

ARCHITECT:



RIDA Architecture, PLLC  
2022 Western Avenue Albany, New York 12203  
tel 518.713.4537  
fax 518.687.0935

ENVIROMENTAL ENGINEER:



C.T. Male Associates  
FOUNDED IN 1910

50 Century Hill Drive  
Latham, New York 12110  
tel: 518.786.7400

GENERAL NOTES:

ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR(S)/BIDDER(S) PRIOR TO SUBMITTING BID. BID PRICE TO REFLECT ALL EXISTING CONDITIONS.

CONTRACTOR IS RESPONSIBLE TO REMOVE AND DISPOSE OF ALL CONSTRUCTION MATERIAL AND DEBRIS FROM THE PROJECT ON A DAILY BASIS.

THE ARCHITECT SHALL BE NOTIFIED BY LETTER SHOULD ANY DISCREPANCY OR QUESTION ARISE PERTAINING TO THESE DRAWINGS. NO DECISIONS SHALL BE MADE WITHOUT THE APPROVAL OF THE ARCHITECT.

ANY EXISTING CONDITIONS DAMAGED DURING CONSTRUCTION SHALL BE BROUGHT BACK TO THE ORIGINAL CONDITION BY THE CONTRACTOR AT HIS EXPENSE.

DIMENSIONS AND DETAILS ARE BASED ON BEST AVAILABLE INFORMATION AND THE CONTRACTOR(S)/BIDDER(S) ARE TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK WITH ALL DISCREPANCIES REPORTED TO THE ARCHITECT.

ALL WORK SHALL COMPLY WITH N.Y.S. FIRE PREVENTION AND BUILDING CODE, LOCAL BUILDING CODES AND REQUIREMENTS, AS WELL AS NATIONAL, PLUMBING AND ELECTRICAL CODES.

COORDINATE PREPARATION AND PROCESSING OF SUBMITTALS WITH PERFORMANCE OF CONSTRUCTION ACTIVITIES. TRANSMIT EACH SUBMITTAL SUFFICIENTLY IN ADVANCE OF PERFORMANCE OF RELATED CONSTRUCTION ACTIVITIES TO AVOID DELAY.

CONTRACTOR SHALL COORDINATE ALL WORK WITH ANY OTHER CONTRACTOR ON SITE.

CONTRACTOR SHALL PROVIDE ALL MATERIALS FOR A COMPLETE INSTALLATION.

THE CONTRACTOR IS RESPONSIBLE FOR THE TENANTS AND THEIR PROPERTY WHILE WORKING ON THE APARTMENTS. BUILDINGS UNDER CONSTRUCTION WILL BE FULLY OCCUPIED. ALL EXITS MUST REMAIN OPEN AND UNBLOCKED. THE SAFETY OF THE TENANTS MUST NOT BE COMPROMISED.

THE CONTRACTOR AND/OR SUBCONTRACTORS ARE SOLELY RESPONSIBLE FOR EXECUTING THE WORK AND MAINTAINING THE WORK SITE IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES AND STANDARDS.

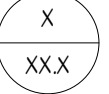
CONTRACTOR SHALL PROVIDE PROTECTIVE BARRICADES, SIGNS AND LIGHTING TO PREVENT ANY UNAUTHORIZED PASSAGE INTO WORK AREA.

CONTRACTOR SHALL CLEANUP AFTER EACH DAYS WORK AND LEAVE THE JOB CLEAN, WITH ALL ITEMS ATTENDED TO. NO FASTENERS, PROJECTIONS, TOOLS, EQUIPMENT OR MATERIAL LYING UNATTENDED.

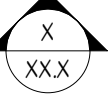
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL OSHA REGULATIONS AND STATE LABOR DEPARTMENT REGULATIONS.

ALL WORK SHALL BE IN STRICT CONFORMANCE WITH MANUFACTURES WRITTEN INSTRUCTION FOR PREPARATION AND INSTALLATION OF MATERIALS.

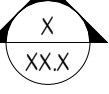
DRAWING SYMBOLS:



DETAIL



ELEVATION




SECTION

BLDG. TYPE	X
BLDG. NUM.	X


BUILDING TAG

XXXXXX


ROOM TAG




FINISH TAG



WALL TAG



WINDOW TAG



REVISION

PROJECT:

STAMP:

REVISIONS:

NO:	
-----	--

NEW TOILET ROOM, HANDICAP LIFT AND ELECTRCIAL UPGRADES

DUTCH REFORM CHURCH  
1501 1st AVENUE  
WATERVLIET, NEW YORK 12189

DATE:  
05.08.2023

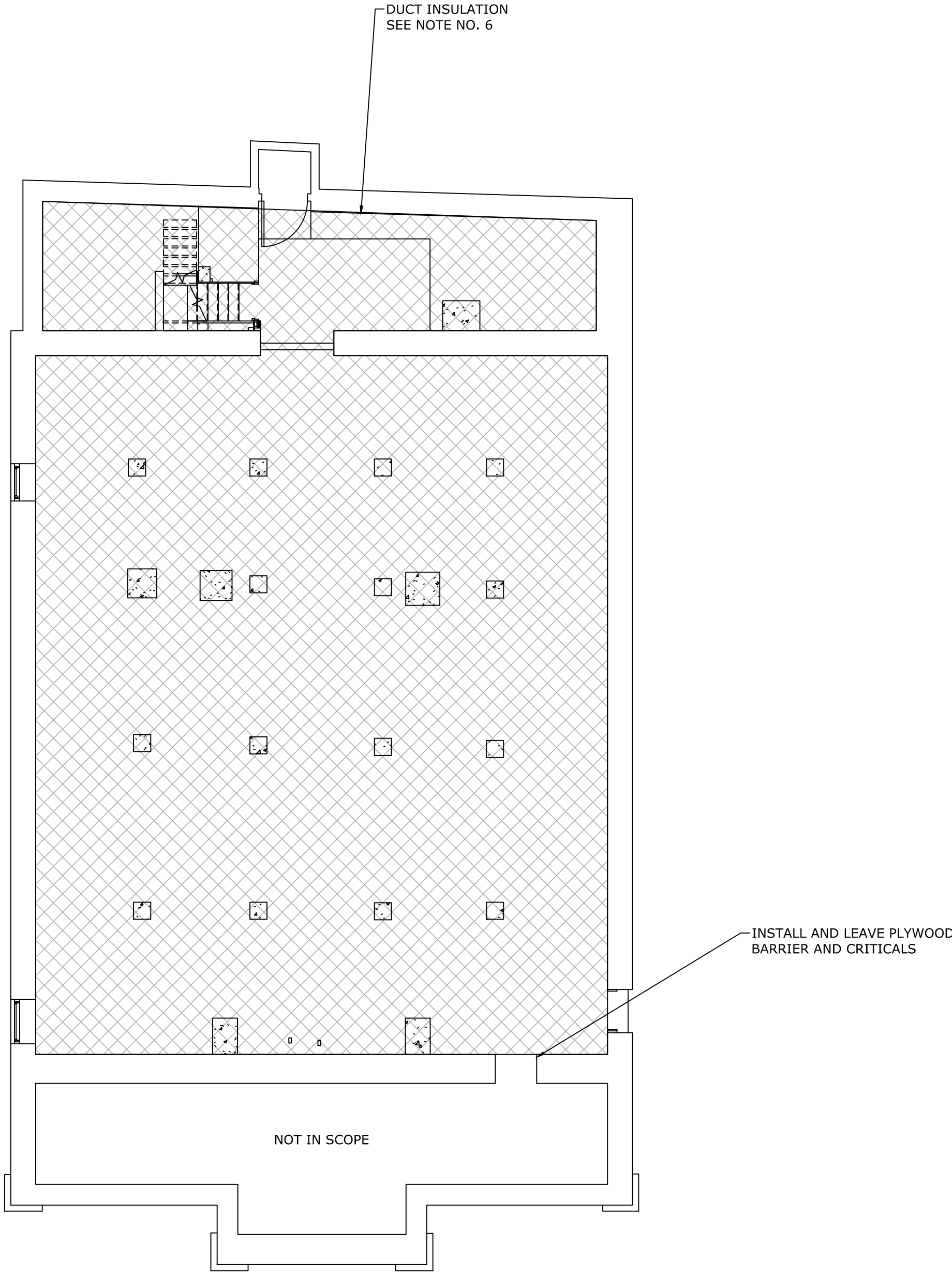
MAP NOTES:

1. ALL WORK PERTAINING TO THIS PROJECT SHALL STRICTLY ADHERE TO THE NEW YORK STATE DEPARTMENT OF LABOR INDUSTRIAL CODE RULE 56 (NYSOL ICR-56), SPECIFICATION MANUAL AND ALL OTHER PERTINENT FEDERAL, STATE, AND LOCAL RULES AND REGULATIONS.
2. FIELD VERIFY ALL EXISTING CONDITIONS. ALL DRAWINGS ARE APPROXIMATE IN NATURE AND INDICATE LOCATIONS ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXISTING CONDITIONS AND READ THE SPECIFICATIONS AND DRAWINGS PRIOR TO BIDDING THIS PROJECT.
3. PRECLEAN AND PROTECT WITH POLY AND PLYWOOD TO PREVENT CONTAMINATION OR DAMAGE TO ELECTRICAL SYSTEMS, VALVES, GAUGES, INDICATORS, SWITCHING, WIRING, LIGHT FIXTURES, CEILING TILES, ETC. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY DAMAGED COMPONENTS RESULTING FROM THEIR WORK.
4. UPON COMPLETION OF ABATEMENT CLEAN AND REMOVE ALL RESIDUE (TAPE, GLUE, ETC.) FROM WORK AREAS AND ALL ASBESTOS RELATED SIGNS POSTED AT DOORS AND OTHER LOCATIONS.
5. CLEAN AND DECONTAMINATE CRAWLSPACE AREA PER ICR 56 AND APPROVED NYSOL SITE SPECIFIC VARIANCE. APPROXIMATELY 3,033 SQ. FT. OF FLOOR AREA AND 300 LINEAR FEET OF LOOSE AND FALLING PIPE INSULATION IS TO BE ABATED. CONTRACTOR IS TO INSTALL PLYWOOD BARRIER AND CRITICALS (TO REMAIN) TO CLOSE OFF SMALLER CRAWLSPACE AREA.
6. REMOVE APPROXIMATELY 20 LINEAR FEET OF ASBESTOS CONTAINING DUCT INSULATION. REMOVE DUCT INSULATION PER NYSOL ICR-56.

LEGEND:

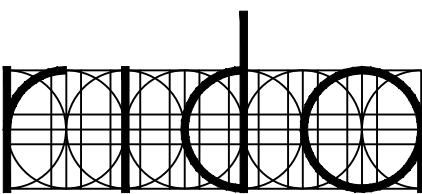


AREA OF ASBESTOS CONTAMINATED CRAWLSPACE TO BE ABATED



BASEMENT FLOOR PLAN

SCALE: 1/8"=1'-0"



RIDA Architecture, PLLC  
2022 Western Avenue  
Albany, New York 12203  
tel 518.713.4537  
fax 518.687.0935

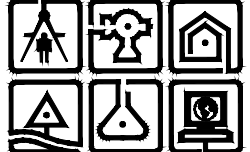
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CONSULTANT:

C.T. MALE ASSOCIATES  
Engineering, Surveying, Architecture, Landscape Architecture & Geology, R.P.C.

16 CATTARAUGUS AVE., CATTARAUGUS, NY 14810  
TEL: 607.755.1111 FAX: 607.755.1111



CLIENT:

CITY OF  
WATERVLIET

2 FIFTEENTH STREET  
WATERVLIET, NEW YORK 12189

PROJECT:

NEW TOILET ROOM,  
HANDICAP LIFT AND  
ELECTRICAL UPGRADES:  
DUTCH REFORMED CHURCH  
1501 1st AVENUE  
WATERVLIET, NEW YORK 12189

REVISION

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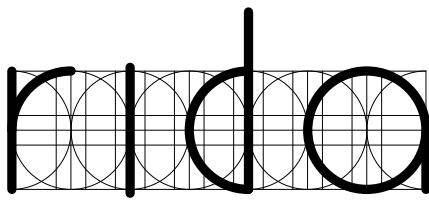
CONTRACT  
NUMBER: 1

DRAWN  
BY: SMW

CHECKED  
BY: MJS

ASBESTOS  
ABATEMENT  
BASEMENT PLAN

HZ-101



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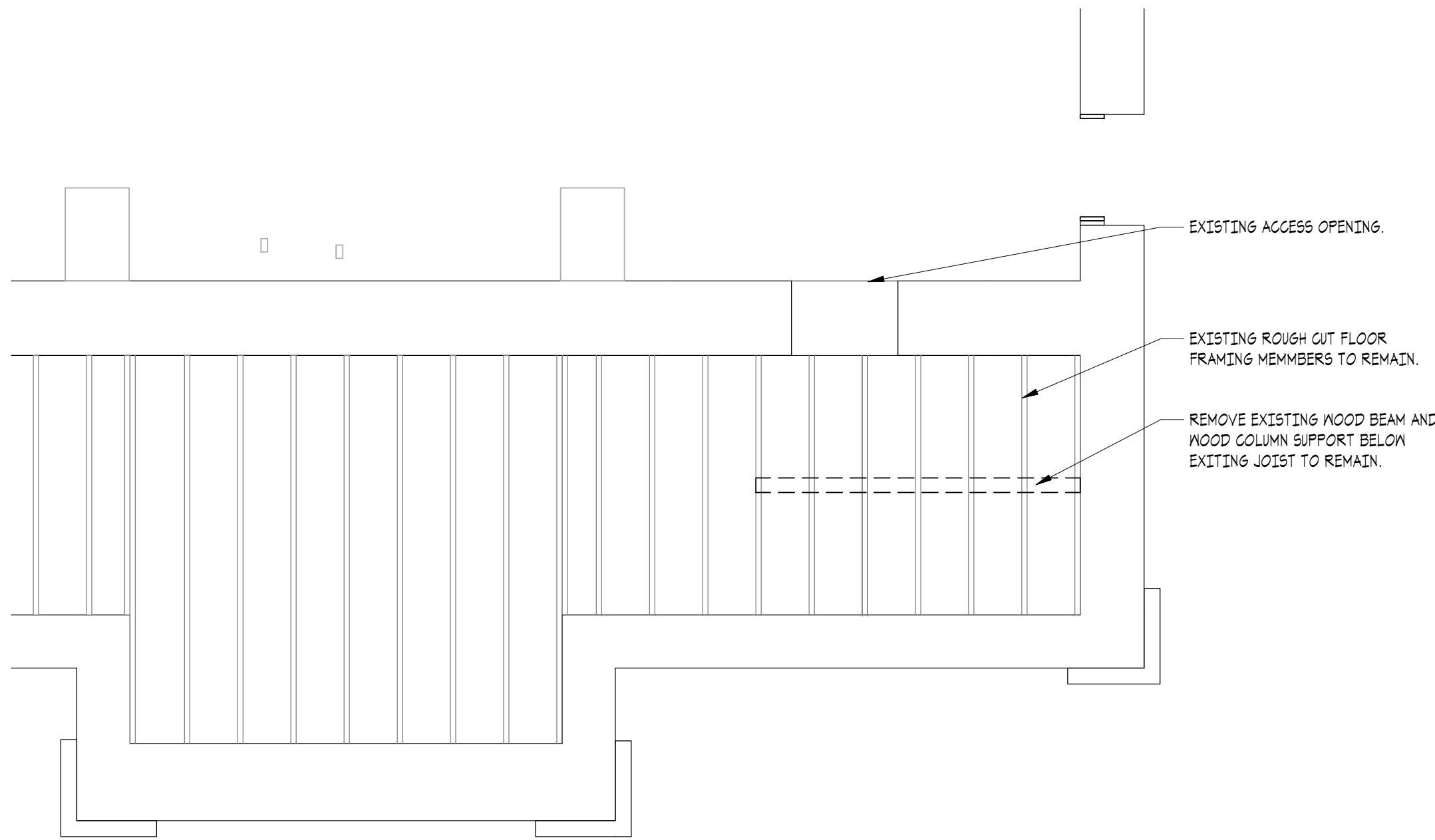
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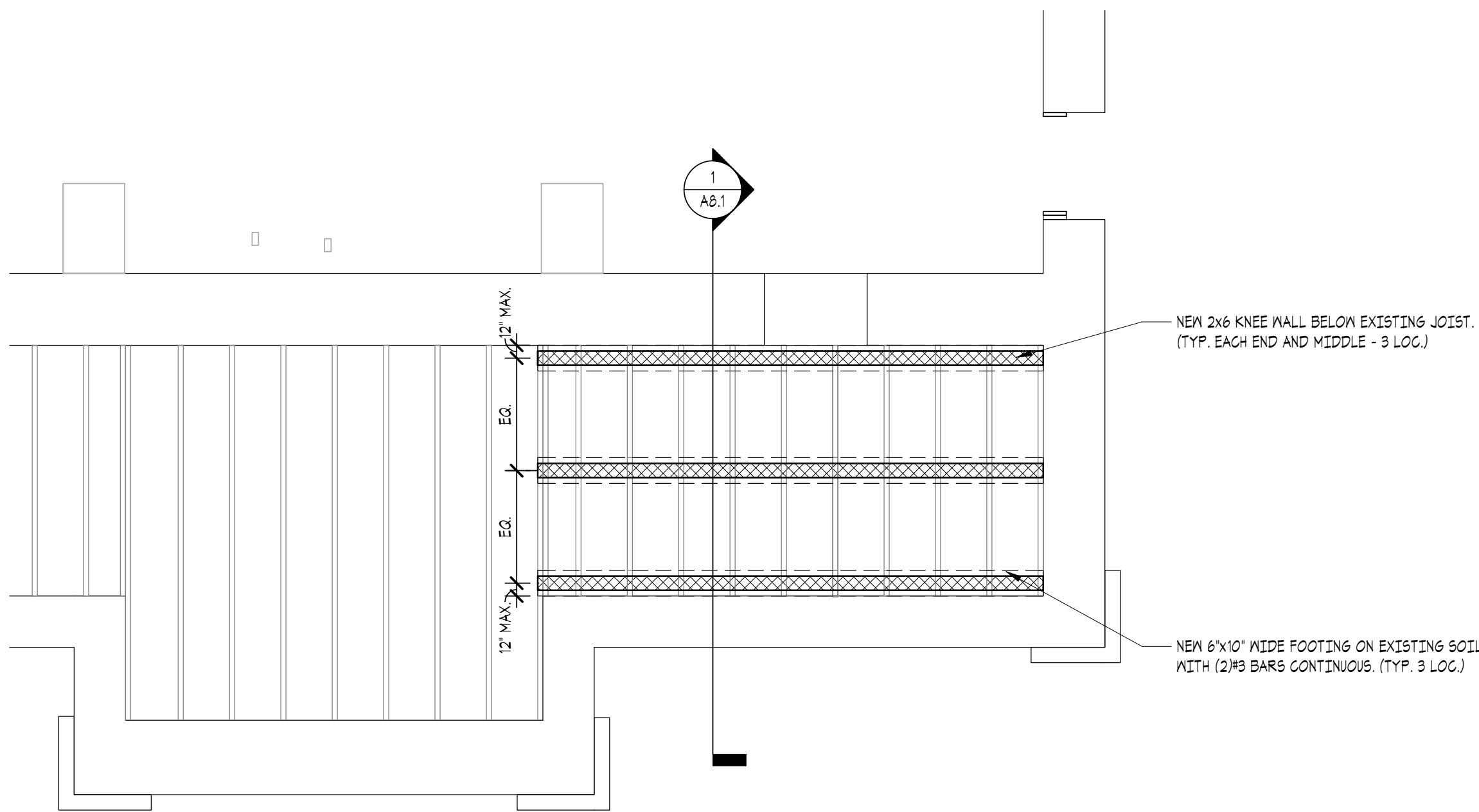
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BASEMENT PLAN

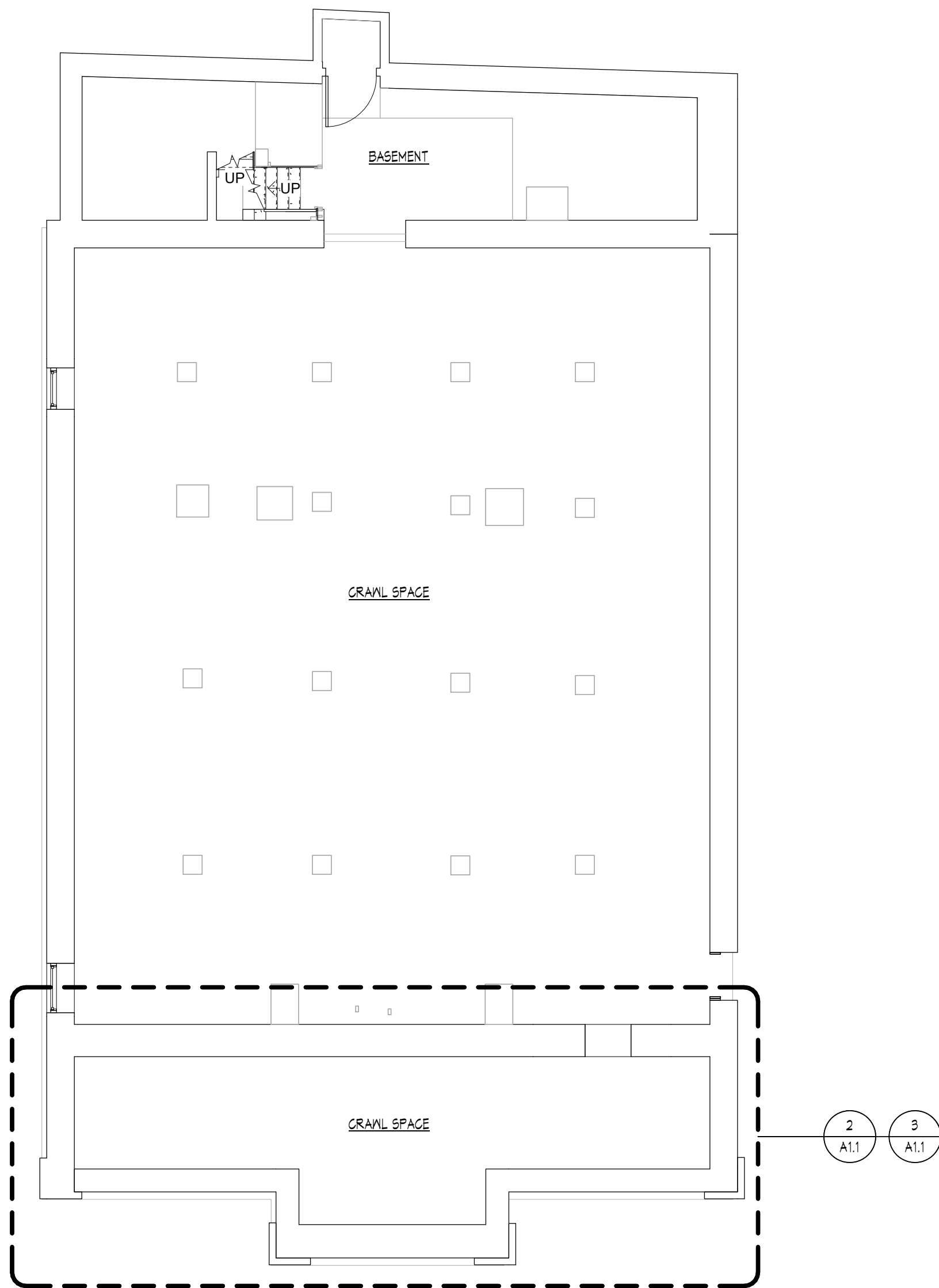
A1.1



2 EXISTING/REMOVAL BASEMENT FRAMING PLAN  
SCALE: 1/4" = 1'-0"



3 PROPOSED BASEMENT FRAMING PLAN  
SCALE: 1/4" = 1'-0"



1 BASEMENT KEY PLAN  
SCALE: 1/8" = 1'-0"



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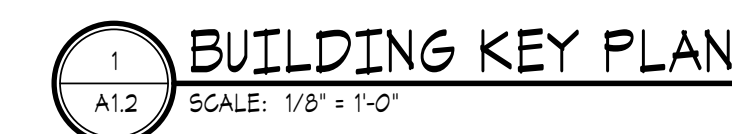
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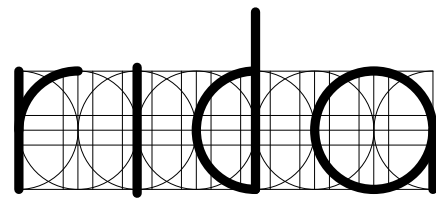
DRAWN BY:                      Autho

CHECKED BY: D.R.

## PROPOSED FLOOR PLAN

## A1.2





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INTERIOR  
DETAILS & FINISH  
SPECIFICATIONS

A4.1

FINISH SCHEDULE						
NO.	MATERIAL	MANUFACTURER	PRODUCT#	COLOR/#	SIZE	REMARKS
FLOORING						
CS-1	CONCRETE SEALER	SIKA OR EQUAL	SIKALASTIC - T84 PA	CLEAR	N/A	
GT-1	GROUT	LATICRETE OR EQUAL	SPECTRALOCK PRO PREMIUM GROUT	IRON 9T	1/8" (MAX.)	INSTALLED WITH PT-1, MT-1 AND PTB-1
PT-1	PORCELAIN TILE	CAESAR OR EQUAL	STONEMAYS	VELVET	12" x 24"	RUNNING BOND INSTALLATION
PTB-1	PORCELAIN TILE BASE	CAESAR OR EQUAL	TRIM BULLNOSE	VELVET	3" x 24"	
SL-1	SEALANT	LATICRETE OR EQUAL	PREMIUM ACRYLIC CAULK	TO MATCH COORDINATING GROUT	1/8" (MAX.)	APPLY AT BOTTOM & INSIDE CORNERS OF WALL TILE, TOP AND BOTTOM OF PTB-1.
WALLS & CEILINGS						
P-1	PAINT	SHERWIN WILLIAMS OR EQUAL	PROMAR 200 LATEX FLAT B30-2600	CEILING BRIGHT WHITE SKY001	N/A	APPLY ONE COAT OF MANUFACTURES RECOMMENDED PRIMER AND TWO COATS PAINT.
P-2	PAINT	SHERWIN WILLIAMS OR EQUAL	PROMAR 200 HP ACR. EGGSHELL B20-1900	DRIFT OF MIST SN 9166	N/A	APPLY ONE COAT OF MANUFACTURES RECOMMENDED PRIMER AND TWO COATS PAINT.
P-3	PAINT	SHERWIN WILLIAMS OR EQUAL	PROMAR 200 HP ACR. SEMI-GLOSS B31-1900	DRIFT OF MIST SN 9166	N/A	APPLY ONE COAT OF MANUFACTURES RECOMMENDED PRIMER AND TWO COATS PAINT.
ST-1	STAIN	MINWAX OR EQUAL	WOOD FINISH 250 VOC OIL BASE	TO MATCH EXISTING	N/A	APPLY TWO COATS STAIN/TWO COATS MINWAX SEMI-GLOSS FAST DRY POLYURETHANE 250 VOC
MT-1	WALL TILE	CAESAR OR EQUAL	STONEMAYS - DECOR	VELVET	2' x 2' (12" x 12" SHEET)	
FLOOR FINISH LEGEND						

ROOM FINISH SCHEDULE							
NO.	ROOM NAME	FLOOR	BASE	WALL	CEILING	HEIGHT	REMARKS
100	VESTIBULE	EXISTING	EXISTING	P-2	P-1	14'-0"	
101	LIFT	EXIST. PT-1	EXIST. PTB-1	P-2	P-1	14'-0"	PTB-1 ONLY INSTALLED IN AREA IV/ PT-1
102	TOILET ROOM	CS-1	EXIST. PTB-1	P-2	P-1	14'-0"	PTB-1 ONLY INSTALLED ON NEW WALL.

#### FINISH & FIXTURE SPECIFICATIONS

##### CONCRETE FLOOR

1. CLEAN EXISTING CONCRETE WITH WATER AND MILD CLEANING DETERGENT USING SOFT BRISTLE BRUSHES. (METAL BRUSHES ARE NOT PERMITTED.)
2. CHEMICAL OR MECHANICAL CLEANING IS NOT PERMITTED
3. TEST CLEANING METHOD IN AN INCONSPICUOUS AREA PRIOR TO CLEANING ENTIRE AREA.

##### PAINT: CROWN MOLDING

1. CROWN MOLDING TO BE CLEANED AND FREE OF ALL RESIDUE, OILS, ADHESIVES, DIRT, DUST, DEBRIS.
2. LIGHTLY SAND (MECHANICAL SANDERS ARE NOT PERMITTED.) ALL EXISTING CROWN MOLDING; REMOVE CHIPPED, CRACKED OR LOOSE PAINT.
3. APPLY ONE COAT PRIMER AND TWO COATS SPECIFIED PAINT (P-3) TO CROWN MOLDING IN ALL AREAS IN SCOPE OF WORK.

##### EXISTING GYPSUM WALL BOARD/PLASTER REPAIR

1. CRACKED: APPLY TWO COATS JOINT COMPOUND I/V FIBERGLASS TAPE, SAND, APPLY ONE COAT PRIMER AND TWO COATS SPECIFIED PAINT (P-2).
2. PATCH: REMOVE DAMAGED WALL BOARD, REPLACE WITH NEW, TAPE, APPLY THREE COATS JOINT COMPOUND, SAND APPLY ONE COAT PRIMER AND TWO COATS SPECIFIED PAINT (P-2).

##### TOILET ROOM ACCESSORIES

1. GRAB BAR: BRADLEY OR EQUAL 15' STAINLESS STEEL GRAB BAR WITH CONCEALED MOUNTING; MODEL #B12; SEE ELEVATIONS FOR SIZES.
2. MIRROR: MEEK MIRRORS OR EQUAL INFINITY FLOATING MIRROR; MODEL# MT112; SIZE XX
3. PAPER TOWEL & WASTE RECEPTACLE: BRADLEY OR EQUAL BRADEX RECESSED TOWEL DISPENSER & WASTE RECEPTACLE; MODEL# 2291.
4. ROBE HOOK: BRADLEY OR EQUAL SATIN STAINLESS BRADEX SINGLE ROBE HOOK; MODEL# 9114; INSTALLED 48" A.F.F.
5. SOAP DISPENSER: BRADLEY OR EQUAL BRADEX LAVATORY MOUNTED SOAP DISPENSER; MODEL# 6934.
6. TOILET PAPER HOLDER: BRADLEY OR EQUAL BRADEX DUAL ROLL TOILET TISSUE DISPENSER; NON-CONTROLLED DELIVERY; MODEL# 5234.

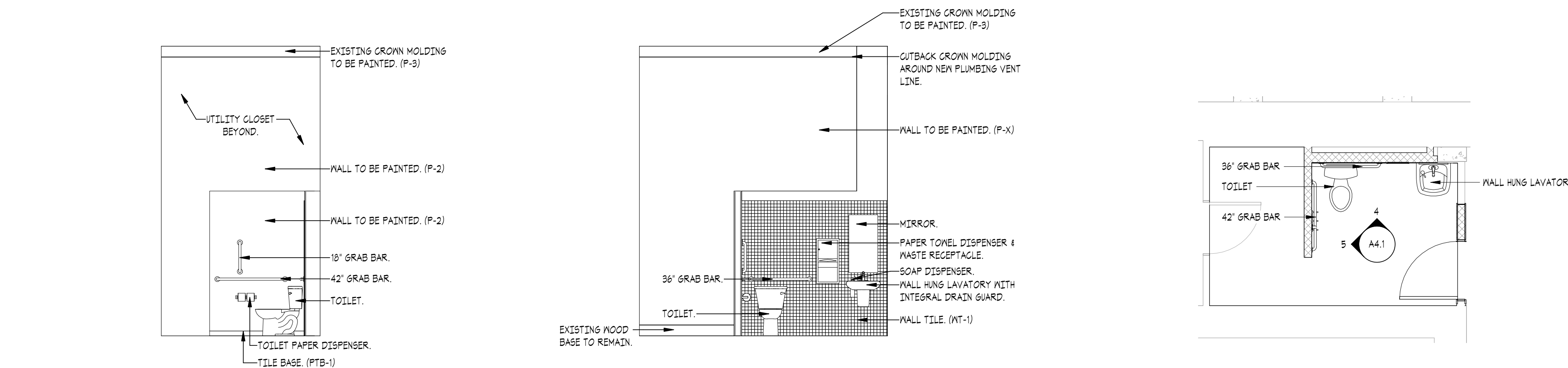


1 FLOOR FINISH PLAN

A4.1 SCALE: 1/4" = 1'-0"

2 VESTIBULE ELEVATION

A4.1 SCALE: 1/4" = 1'-0"  
(TYPICAL BOTH SIDES OF VESTIBULE.)



4 TOILET ROOM ELEVATION

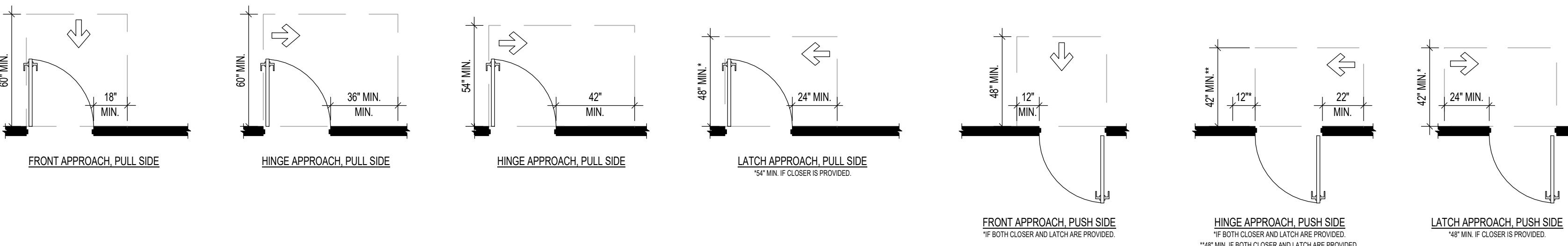
A4.1 SCALE: 1/4" = 1'-0"

5 TOILET ROOM ELEVATION

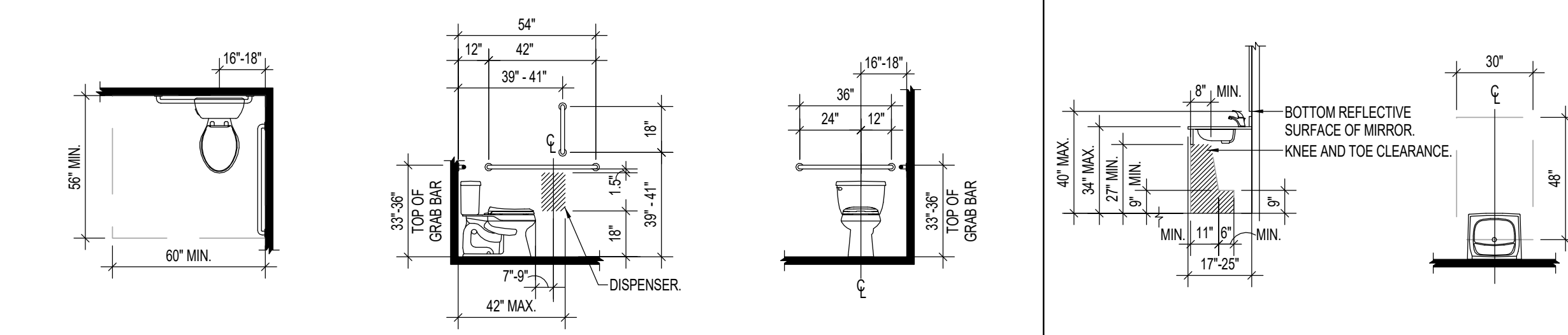
A4.1 SCALE: 1/4" = 1'-0"

3 TOILET ROOM PLAN

A4.1 SCALE: 1/4" = 1'-0"



3 DOOR CLEARANCES



2 WATER CLOSET CLEARANCES

1 LAV. CLEARANCES

6 ADA DETAILS

A4.1 SCALE: 1/4" = 1'-0"

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CLIENT:

CITY OF  
WATERVLIET

2 FIFTEENTH STREET  
WATERVLIET, N.Y. 12189

PROJECT:  
NEW TOILET ROOM,  
HANDICAP LIFT AND  
ELECTRICIAL UPGRADES  
DUTCH REFORM CHURCH  
1501 1st AVENUE  
WATERVLIET, NEW YORK 12189

REVISION:

NO.	

DATE: 05.08.2023

CONTRACT NUMBER: 1

DRAWN BY: Author

CHECKED BY: D.R.

DOOR  
SCHEDULE AND  
DETAILS

A6.1

DOOR SCHEDULE - COMMON SPACE													
NUMBER	DOOR					LABEL	FRAME				HARDWARE		REMARKS
	SPEC.	ELEV.	SIZE (WxH)	THK.	MAT'L		ELEV.	MAT'L	JAMB	HEAD	H	THRESHOLD	
101.1	DB1	D1	36" x 80"	1 3/4"	WOOD	-	F1	EXIST.	314/A6.1	1/A6.1	H3	SEE HARDWARE SPEC.	REUSE EXISTING DOOR AND FRAME ASSEMBLY.
102.1	DB1	D1	36" x 80"	1 3/4"	WOOD	-	F1	EXIST.	314/A6.1	1/A6.1	H2	SEE HARDWARE SPEC.	REUSE EXISTING DOOR AND FRAME ASSEMBLY.
102.2	-	-	32" x 84"	1 3/4"	-	-	-	EXIST.	-	-	H1	-	PREP DOOR TO ACCEPT NEW HARDWARE.

### DOOR SPECIFICATIONS

**DOOR SPEC: DS1**  
WOOD (WOOD)

MANUFACTURER: UPSTATE DOOR OR EQUAL.  
MODEL: C1000 - QUARTER SAWN WHITE OAK.  
HINGE: 3 HINGE PREP.  
LOCKSET: SEE HARDWARE SCHEDULE.  
STAIN: ST1  
POLYURETHANE: ST1

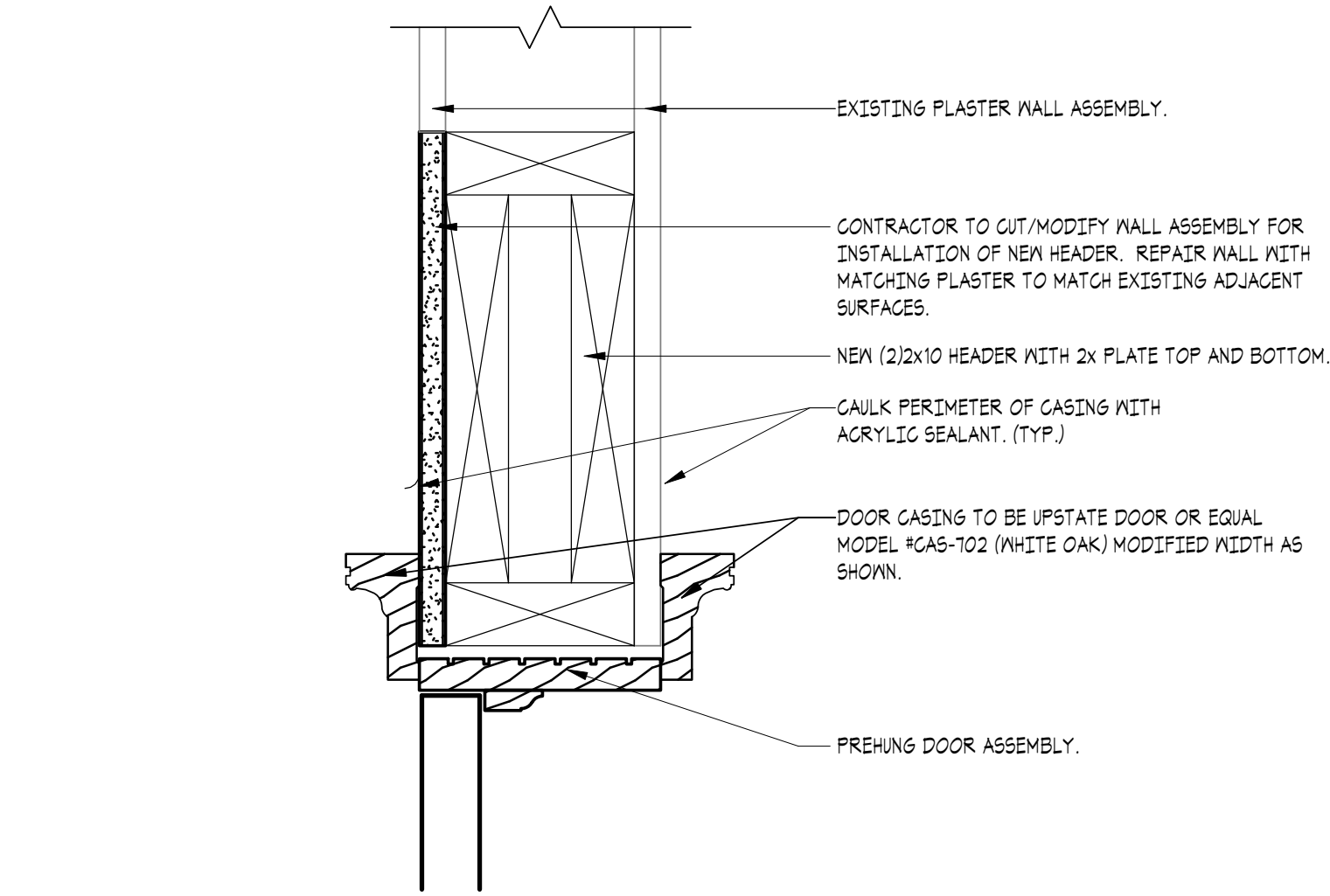
**DOOR FRAME:**  
3/4" FLAT JAMB WITH APPLIED STOPS.  
HINGE: 3 HINGE PREP.  
STAIN: ST1  
POLYURETHANE: ST1

### HARDWARE SPECIFICATIONS

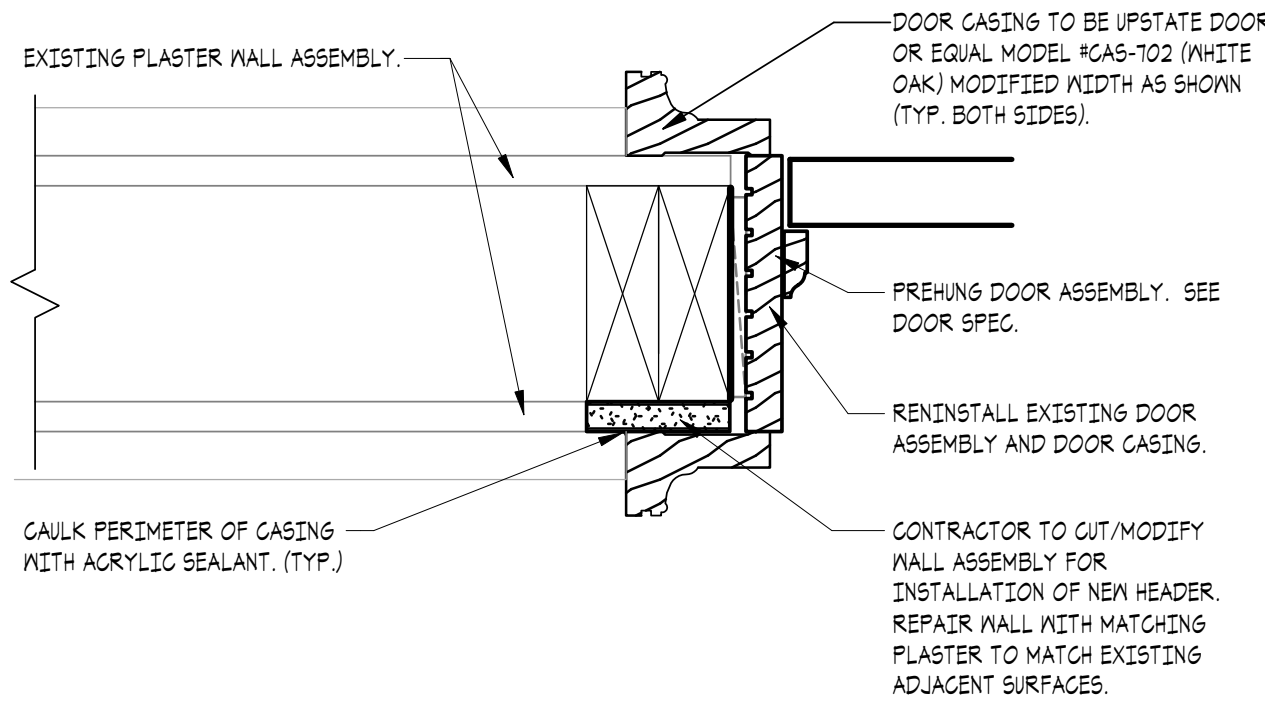
**HARDWARE SPEC: H1**  
1 EA. DEADBOLT: YALE OR EQUAL, MODEL #D100-606.

**HARDWARE SPEC: H2**  
1 1/2 FR. HINGES: STANLEY OR EQUAL, F119(633 SATIN BRASS), 4 1/2" x 4 1/2" - SQUARE CORNER WITH BALL TIP.  
1 EA. LOCKSET: YALE OR EQUAL, MODEL #MO-5402LN-1802-606.  
1 EA. CLOSURE: LCN OR EQUAL, MODEL #LCN-1261-REGARM-696.  
1 EA. WALL STOP: ROCKWOOD OR EQUAL, MODEL #406-606.  
1 EA. THRESHOLD: PEMKO OR EQUAL, MODEL #1115D.

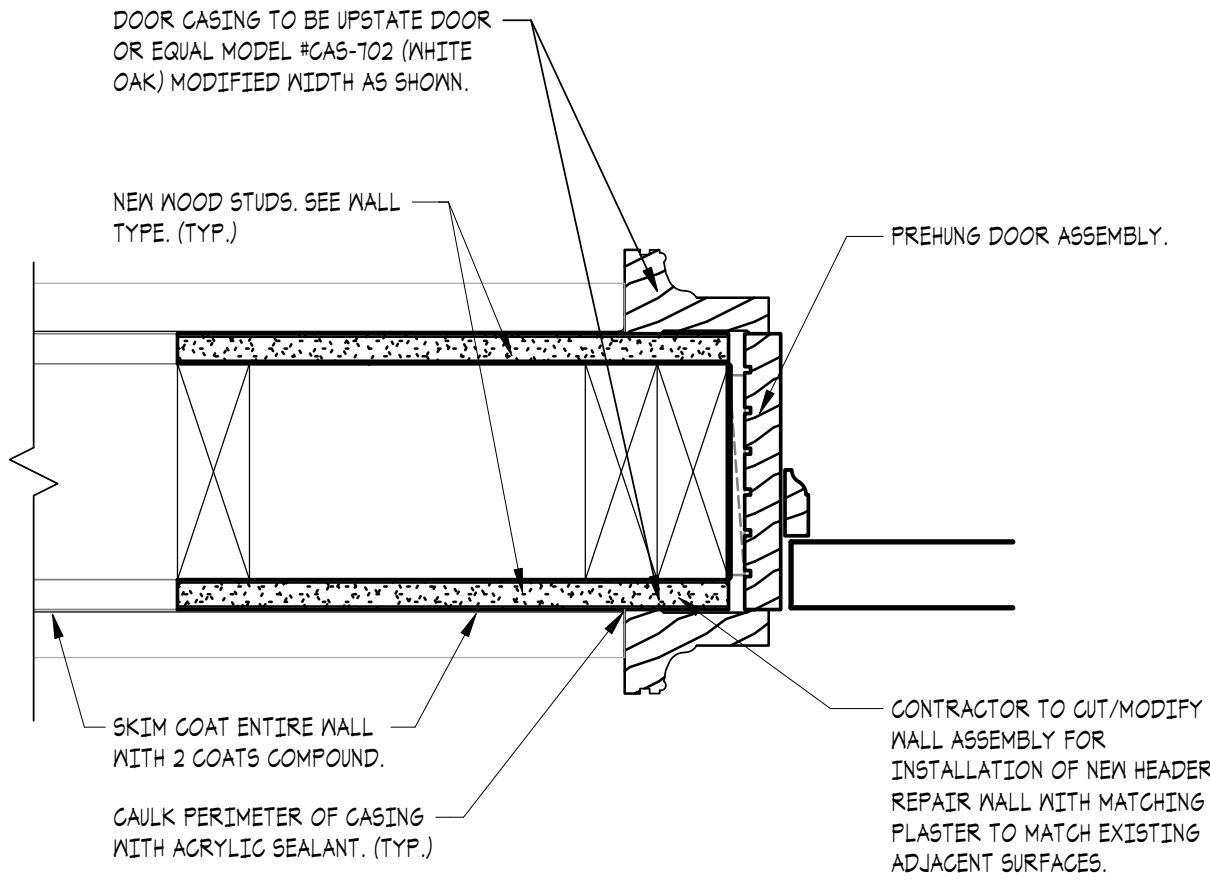
**HARDWARE SPEC: H3**  
1 1/2 FR. HINGES: STANLEY OR EQUAL, F119(633 SATIN BRASS), 4 1/2" x 4 1/2" - SQUARE CORNER WITH BALL TIP.  
1 EA. LOCKSET: YALE OR EQUAL, MODEL #MO-5402LN-1802-606.  
1 EA. CLOSURE: LCN OR EQUAL, MODEL #LCN-1261-REGARM-696.  
1 EA. WALL STOP: ROCKWOOD OR EQUAL, MODEL #406-606.  
1 EA. THRESHOLD: PEMKO OR EQUAL, MODEL #1115D.



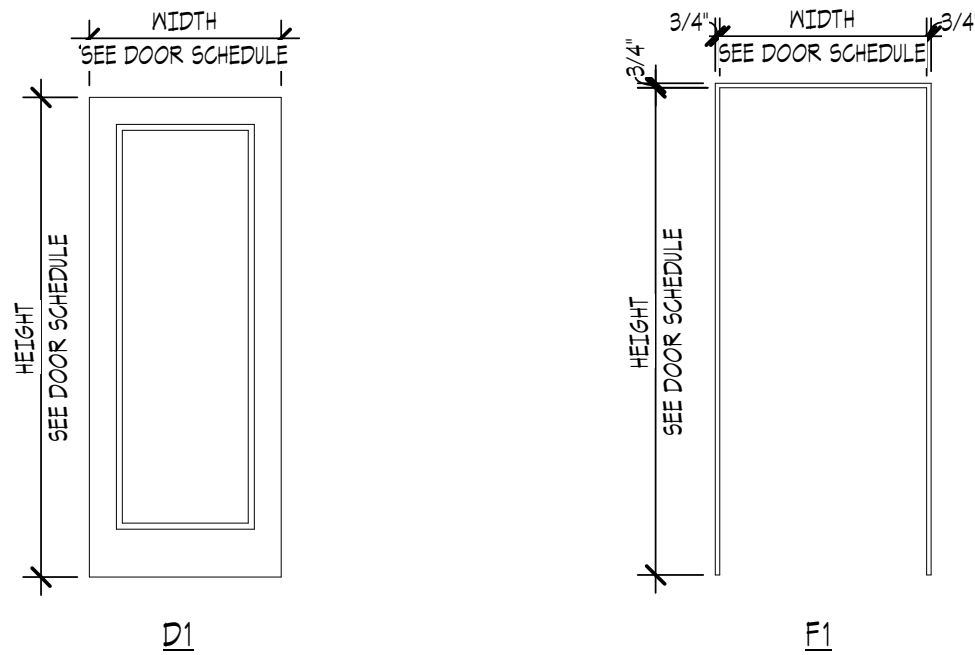
1 DOOR HEAD - RE-USE EXISTING DOOR ASSEMBLY  
A6.1 SCALE: 3" = 1'-0"



4 DOOR JAMB - RE-USE EXISTING DOOR ASSEMBLY- HINGE SIDE  
A6.1 SCALE: 3" = 1'-0"



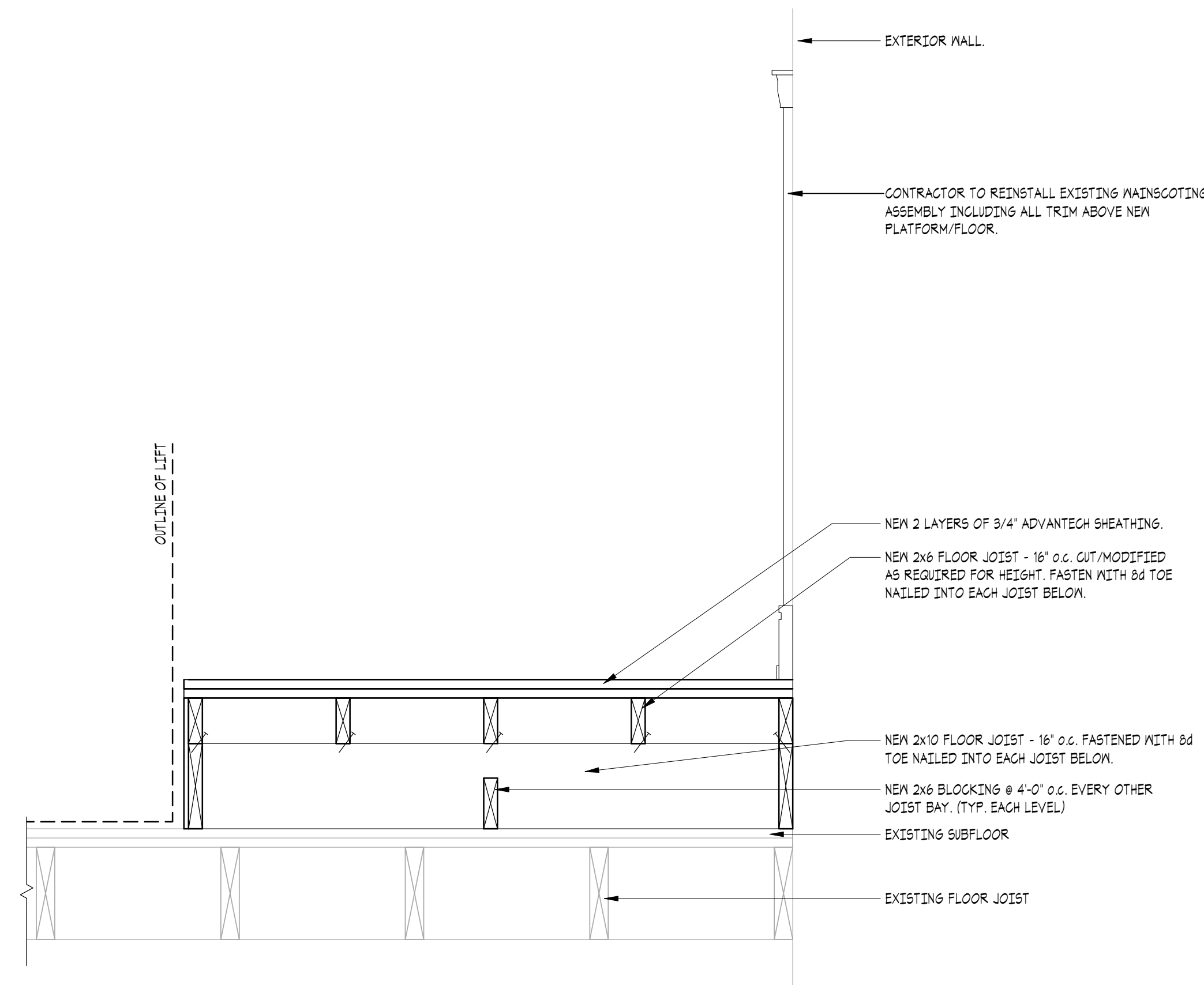
3 DOOR JAMB - RE-USE EXISTING DOOR ASSEMBLY - STRIKE SIDE  
A6.1 SCALE: 3" = 1'-0"



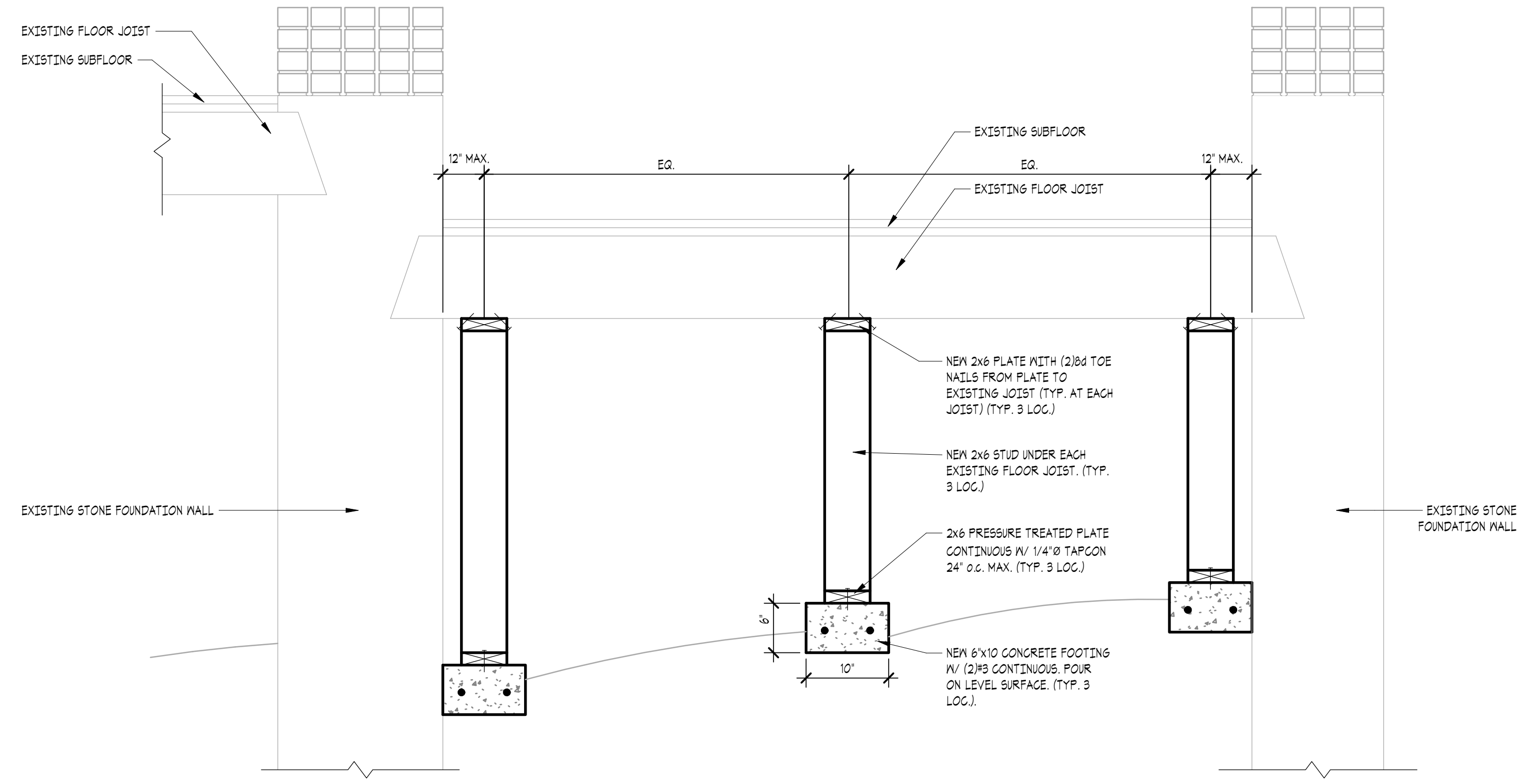
2 DOOR & FRAME ELEVATIONS  
A6.1 SCALE: 3/8" = 1'-0"



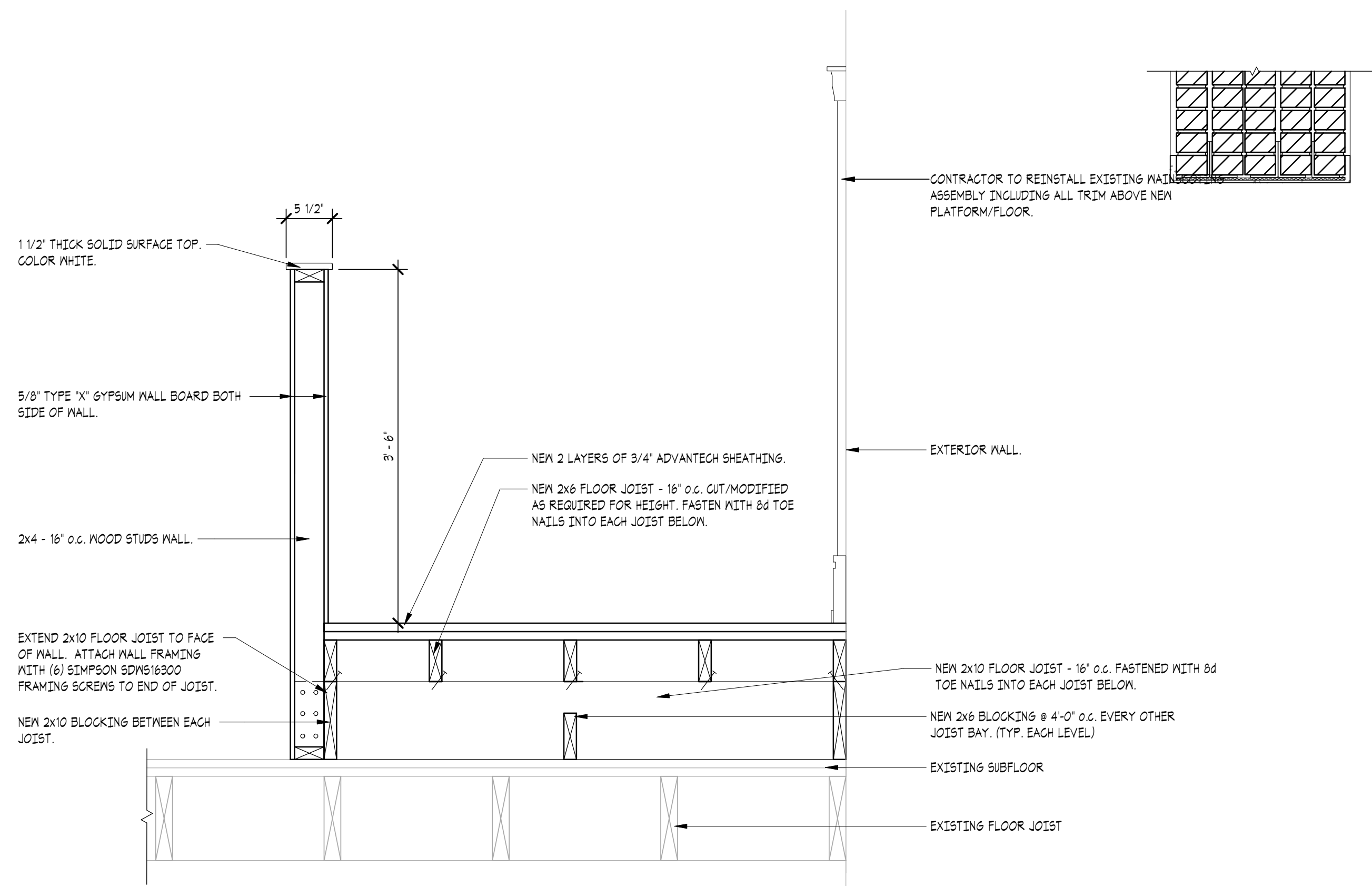
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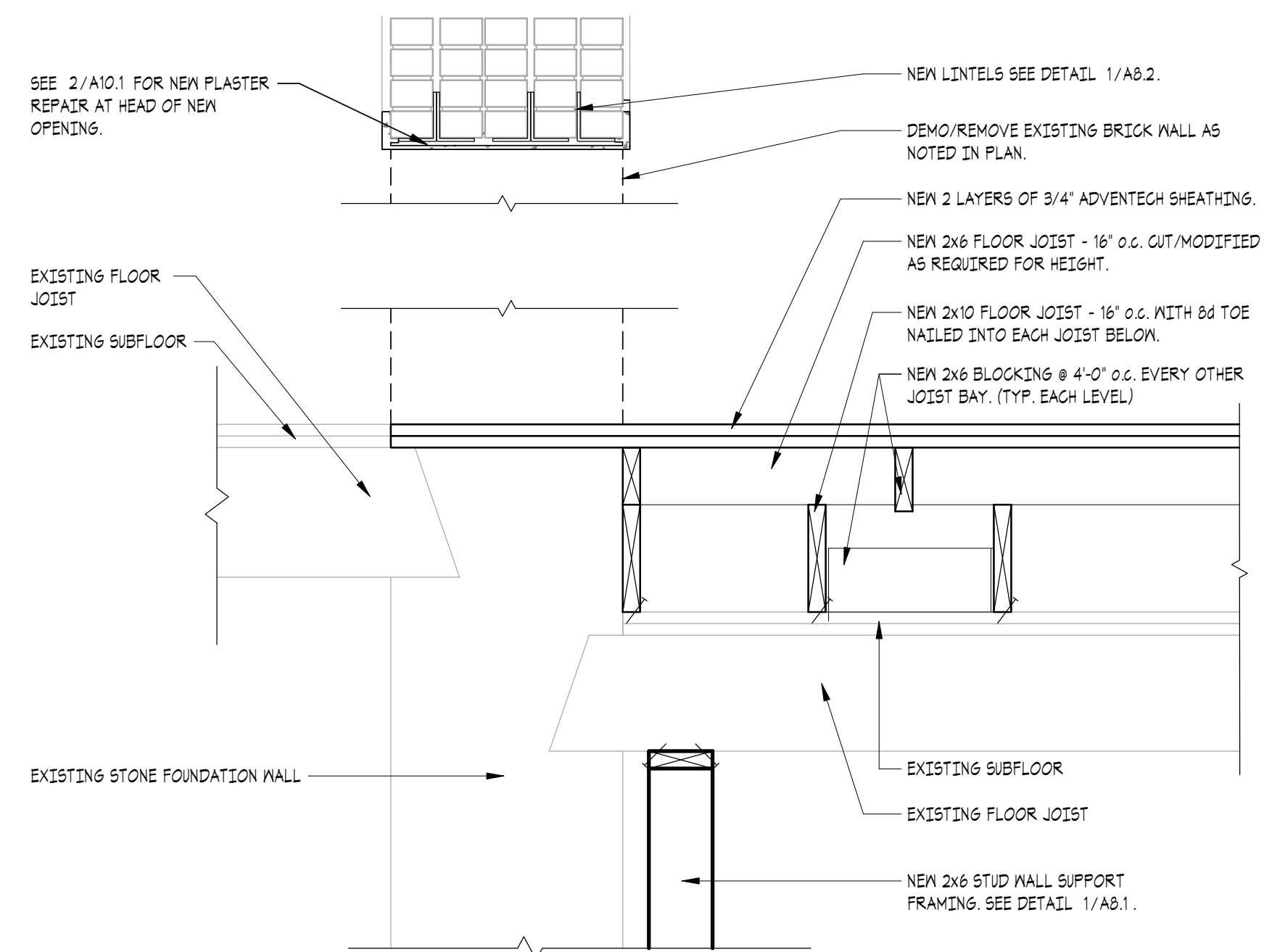
2 FRAMING DETAIL AT LIFT  
A8.1 SCALE: 1" = 1'-0"



1 FOUNDATION WALL SECTION  
A8.1 SCALE: 1" = 1'-0"



4 FRAMING DETAIL AT HALF WALL  
A8.1 SCALE: 1" = 1'-0"



3 FRAMING DETAIL AT NEW DOOR OPENING  
A8.1 SCALE: 1" = 1'-0"





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REVISION:

NO.	

DATE: 05.08.2023

CONTRACT NUMBER: 1

DRAWN BY: D.R.

CHECKED BY: D.R.

MISC. DETAILS

## A8.2



## GENERAL NOTES

THE CONTRACTOR SHALL FIELD VERIFY DIMENSIONS INDICATED WITH EXISTING STRUCTURAL ELEMENTS AND FACILITIES. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.

ALL LOADS PER BUILDING CODE OF NEW YORK STATE 2020 EDITION AS PUBLISHED BY THE NEW YORK STATE DEPARTMENT OF STATE

DESIGN LOADS:

FIRST FLOOR:

DEAD	12 psf
LIVE	100 psf
LIVE BELOW LIFT	300 psf

## CONCRETE NOTES

MEASURE, MIX, BATCH AND DELIVER CONCRETE IN ACCORDANCE WITH ASTM C 94

ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH ACI 304 "GUIDE FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE". CONSOLIDATE PLACED CONCRETE BY MECHANICAL VIBRATION.

ALL INTERIOR CONCRETE SHALL MEET THE FOLLOWING REQUIREMENTS:

1. COMPRESSIVE STRENGTH  $f'_c$  = 3000 psi
2. REQUIRED MAXIMUM AGGREGATE SIZE = MIN. 3/4"

ALL CEMENT SHALL BE PORTLAND CEMENT MEETING THE REQUIREMENTS OF ASTM C 150, TYPE I OR II

ALL REINFORCEMENT SHALL COMPLY WITH ASTM A615, GR. 60

LAP LENGTHS FOR CONCRETE REINFORCEMENT SHALL BE BASED ON THE FOLLOWING TABLE

SIZE	F'C = 3 ksi
#3	17"

## BRICK MASONRY NOTES

REPLACEMENT BRICK MASONRY SHALL BE BUILDING BRICK COMPLYING WITH ASTM C62, GRADE SW, WITH A MINIMUM AVERAGE NET AREA COMPRESSIVE STRENGTH OF 4400 psi.

NEW MORTAR SHALL COMPLY WITH ASTM C270, TYPE N

REPAIR MORTAR SHALL COMPLY WITH ASTM C270, TYPE N

BRICK MASONRY INDICATED TO BE REPLACED SHALL BE TOOTHED INTO THE EXISTING SURROUNDING MASONRY. MORTAR SHALL BE REMOVED FROM THE JOINTS OF THE SURROUNDING BRICK. USE NEW MORTAR OF TYPE INDICATED ABOVE.

THE EXISTING MASONRY WALL REQUIRE TEMPORARY SHORING AT THE LOCATION OF NEW OPENINGS TO BE INSTALLED IN THE EXISTING MASONRY WALLS. SHORING SHALL BE DESIGNED FOR THE WEIGHT OF THE MASONRY ABOVE THE NEW LINTEL PLUS DEAD LOADS FROM THE FRAMING ABOVE AS APPLICABLE. IN ADDITION, IF THE NEW OPENING IS TO BE CONSTRUCTED IN THE WINTER TH SHORING SHALL BE DESIGNED FOR A MINIMUM SNOW LOAD OF 30 psf. THE CONTRACTOR SHALL SUBMIT DRAWINGS SHOWING THE METHOD(S) OF PROPOSED SHORING WITH BEAM POST AND JACK SIZES NOTED ALONG WITH ANY OTHER PERTINENT INFORMATION. ALL SHORING DRAWINGS SHALL BE SIGNED AND SEALED BY AN ENGINEER LICENSED TO PRACTICE IN THE STATE OF NEW YORK.

## ROUGH CARPENTRY NOTES

ALL FRAMING LUMBER SHALL BE OF THE GRADE AND SPECIES AS SPECIFIED BELOW

JOISTS	NO.1 OR NO. 2 SPF
INTERIOR WALL STUDS	NO.1 OR NO. 2 SPF
WALL PLATES	NO.1 OR NO. 2 SPF
SILL PLATES	NO.1 OR NO.2 P.P.T. SOUTH. PINE
MISC. BLOCKING	NO.1 OR NO. 2 SPF

ALL WOOD BEARING ON CONCRETE OR MASONRY SHALL BE PRESSURE PRESERVATIVE TREATED SOUTHERN PINE

STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES, ETC. UNLESS SPECIFICALLY DETAILED

LUMBER SPECIFIED AS PRESSURE PRESERVATIVE TREATED SHALL BE TREATED BY THE PRESSURE PROCESS IN ACCORDANCE WITH ANPA U1; USE CATEGORY UC4A. PRESERVATIVE CHEMICALS SHALL NOT CONTAIN ARSENIC OR CHROMIUM. DO NOT USE INORGANIC BORON (SBX) FOR SILL PLATES. CHEMICAL FORMULATIONS SHALL NOT REQUIRE INCISING.

NAILS SHALL MEET THE REQUIREMENTS OF ASTM F1667

THIS NAILING SCHEDULE IS TYPICAL UNLESS OTHERWISE NOTED OR DETAILED ON THE DRAWINGS. ALL NAILS ARE COMMON WIRE NAILS (SEE BELOW FOR EXACT SIZE). ALL NAILS CONNECTED TO PRESSURE PRESERVATIVE TREATED LUMBER SHALL BE HOT DIP GALVANIZED PER ASTM A153.

<u>CONNECTION</u>	<u>NAILING</u>
JOIST TO SILL OR GIRDER, TOE NAIL EA. SIDE	3-8d
JOIST TO BAND OR RIM JOIST	3-16d face nail
BRIDGING TO JOIST, TOE NAIL EA. END	3-8d
STUD TO SILL OR SOLE PLATE	2-16d direct or 2-16d toe nail
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d*16'
TOP PLATE TO STUD, END NAIL	2-16d
CONTINUOUS JOISTS TO PLATE, TOE NAIL	8d* 16' C-C
SOLID BLOCKING TO JOISTS	3-16d direct 3-16d toe nail

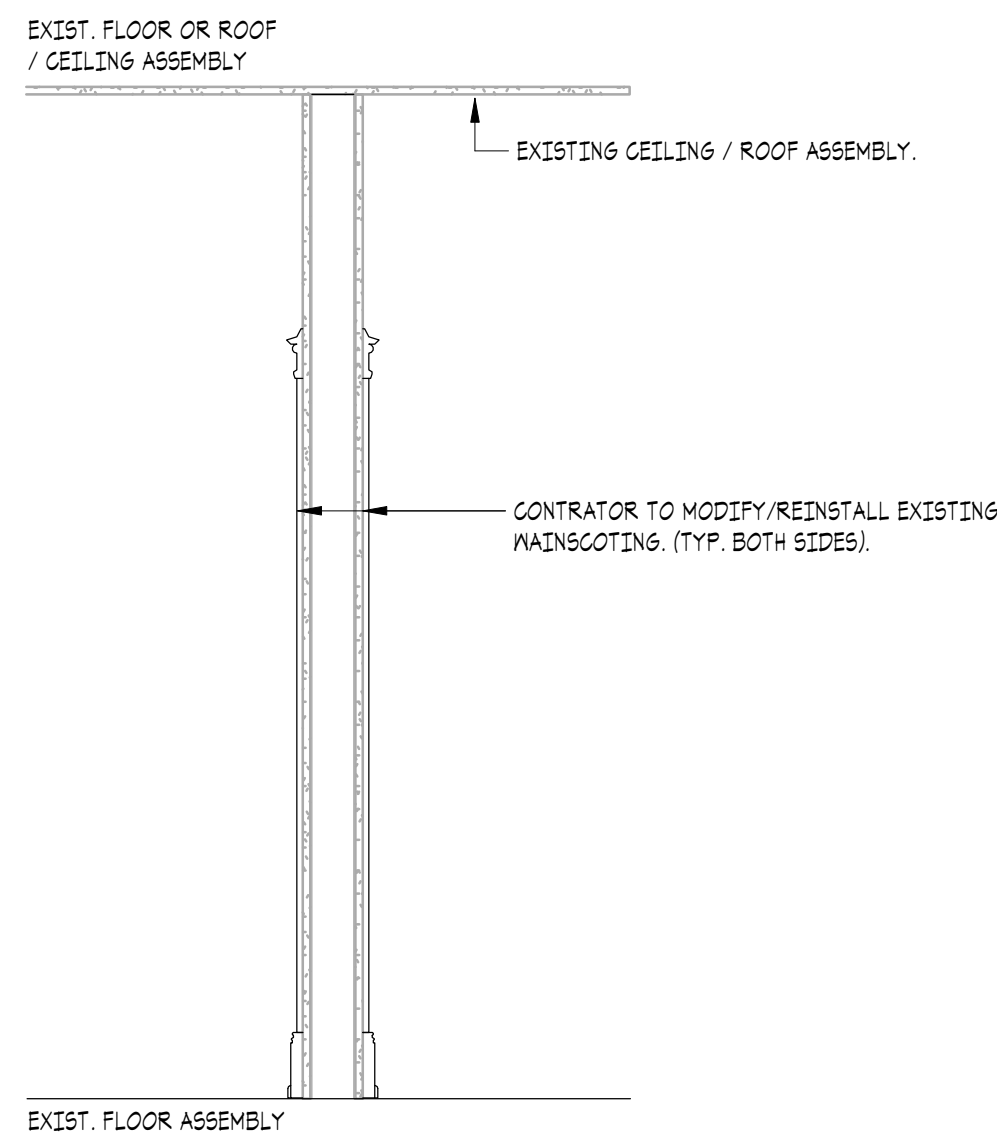
NAIL SIZES - 8d COMMON - 0.131" DIA. x 2.5" LG.  
10d COMMON - 0.148" DIA. x 3.0" LG.

SHEATHING NOTES

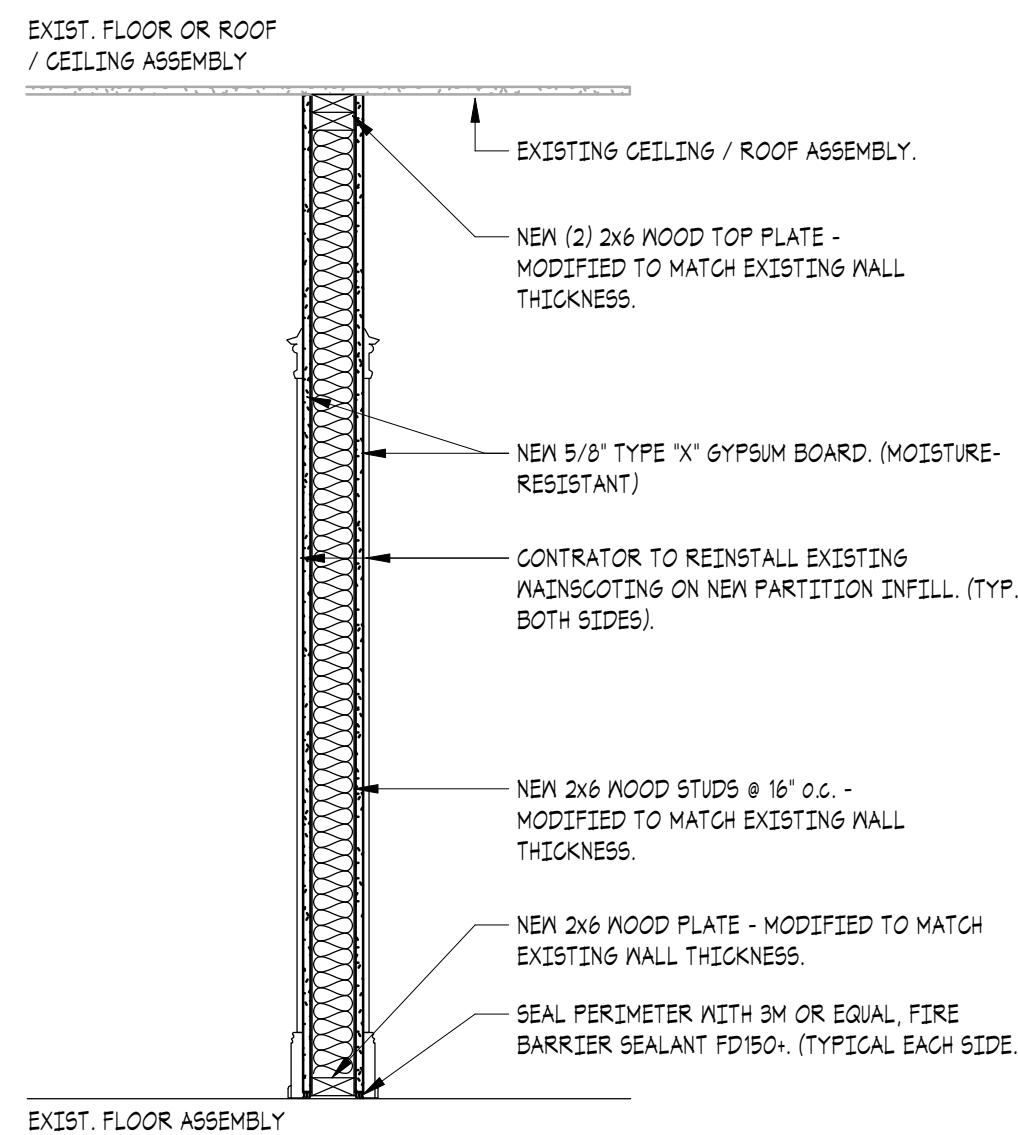
ALL SHEATHING SHEETS SHALL BE LAID WITH LONG DIMENSIONS PERPENDICULAR TO SUPPORTING MEMBERS

FLOOR SHEATHING SHALL BE 3/4" THK. TONGUE AND GROOVE ADVANTECH SUBFLOORING. ATTACH TO FRAMING W/ ADHESIVE AND 10d NAILS SPACED AT 6" C-C AT ALL PERIMETER FRAMING AND 12" C-C AT INTERMEDIATE FRAMING. ADHESIVE SHALL COMPLY W/ APA SPECIFICATION AFG-01 OR ASTM D3498.

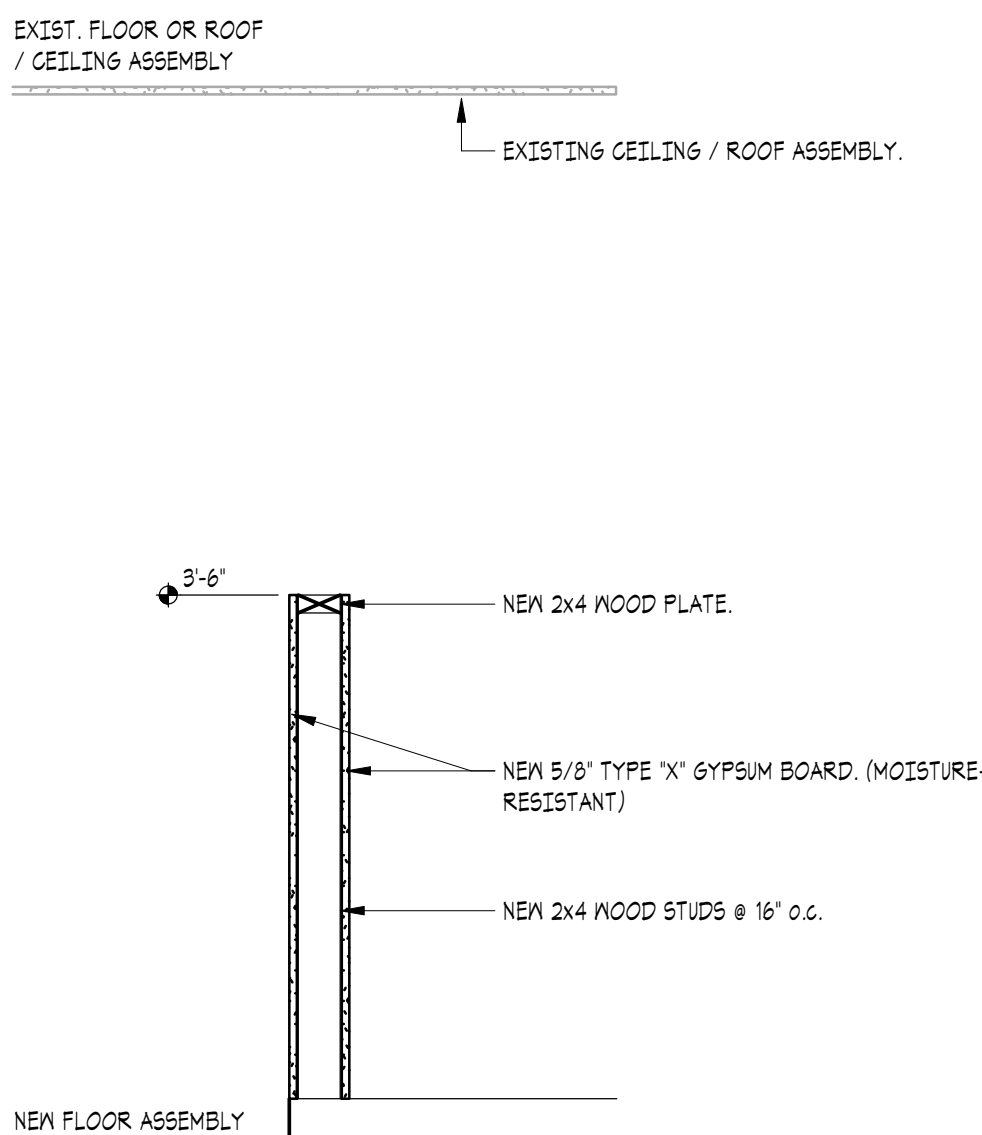
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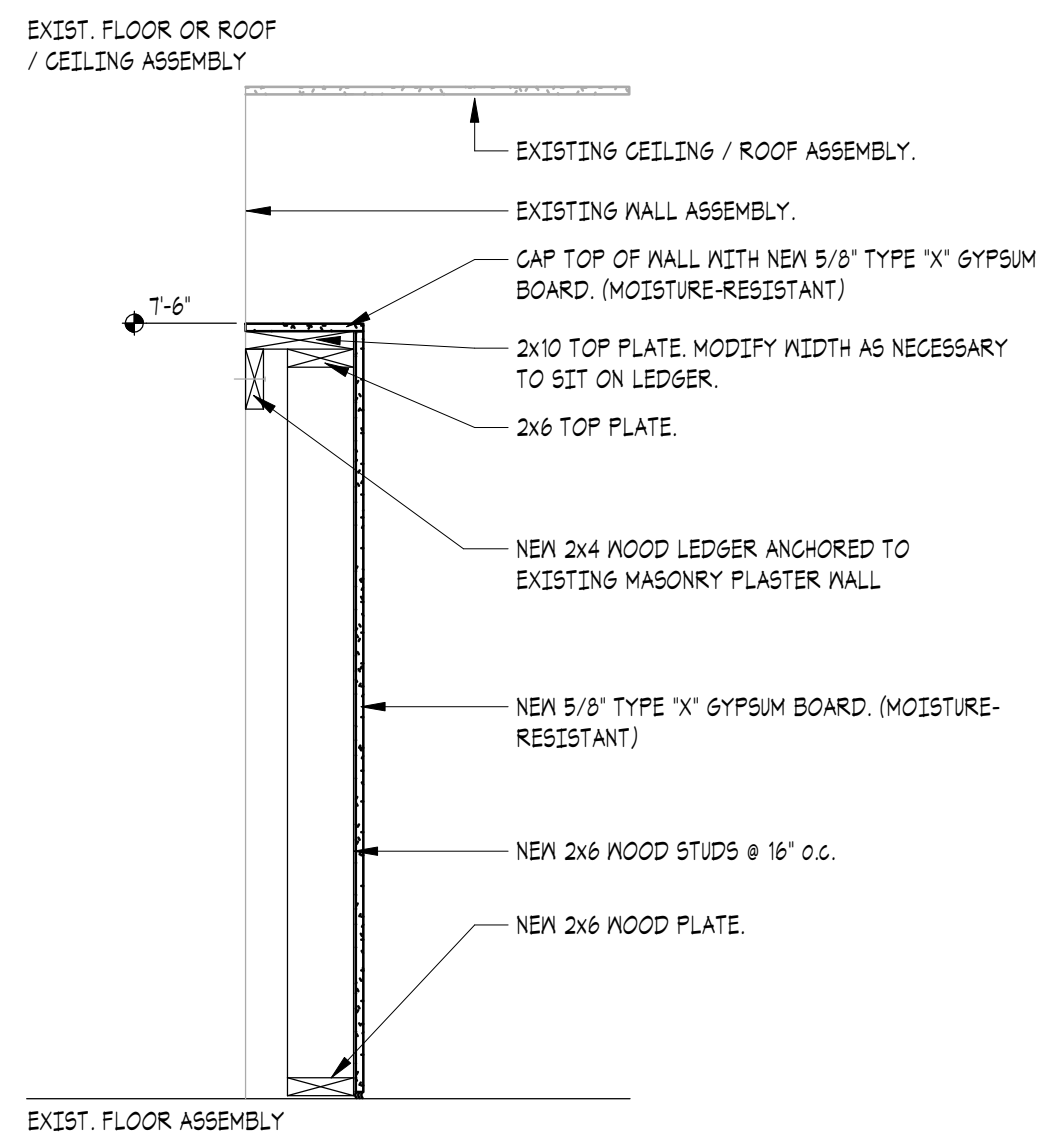
5 EXISTING WALL WITH MODIFIED MAINSCOTING



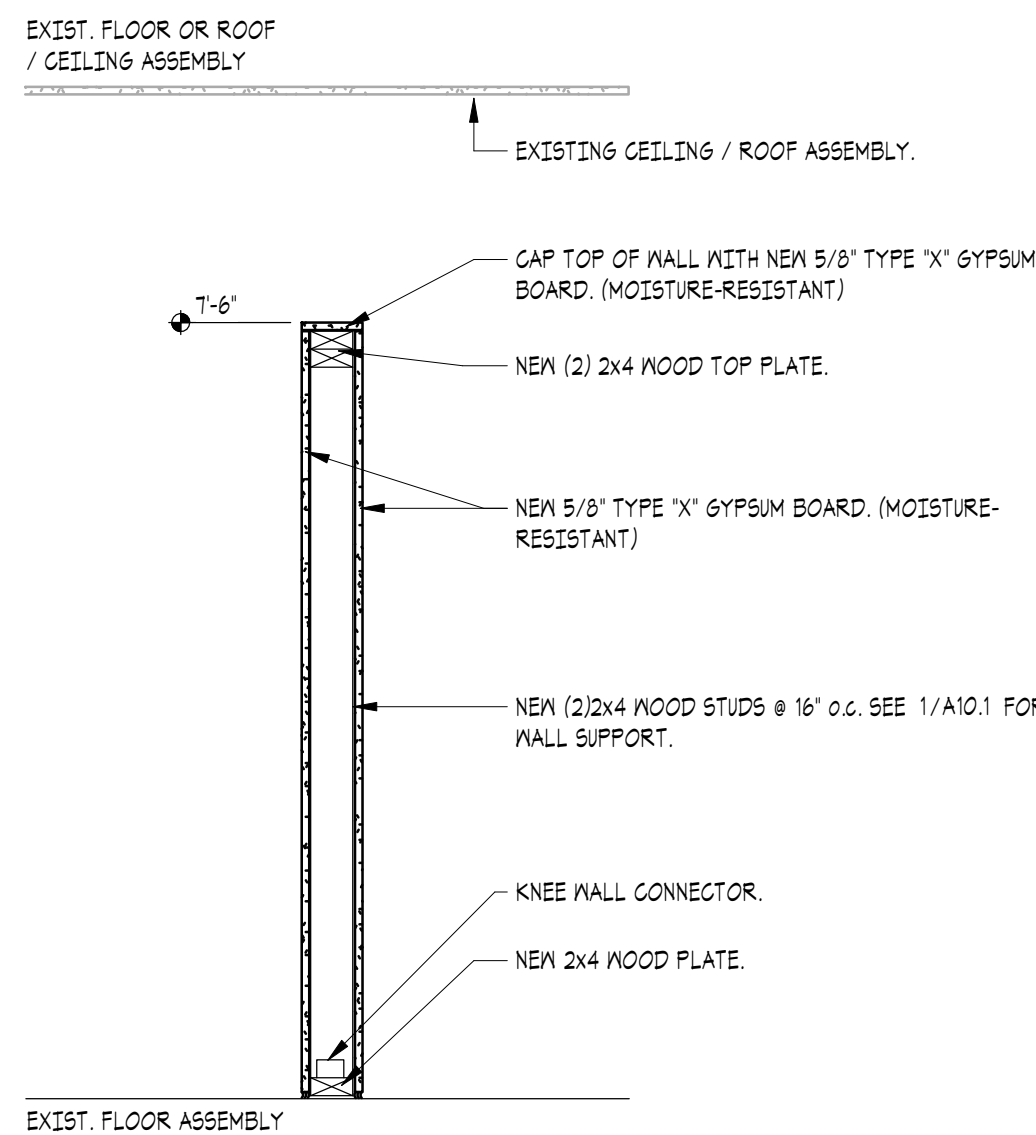
4 NEW WALL ASSEMBLY - MODIFIED WIDTH



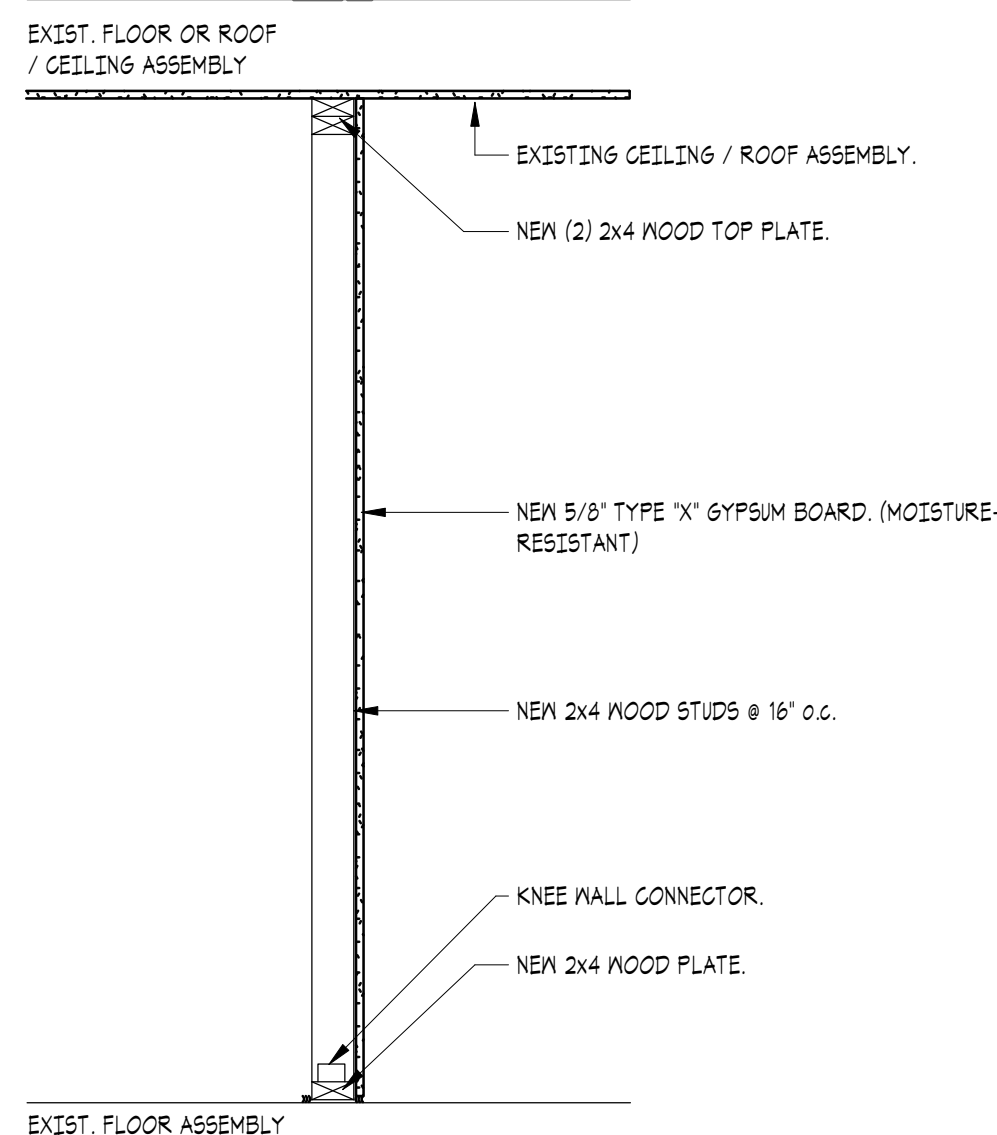
3 NEW 1/2 WALL



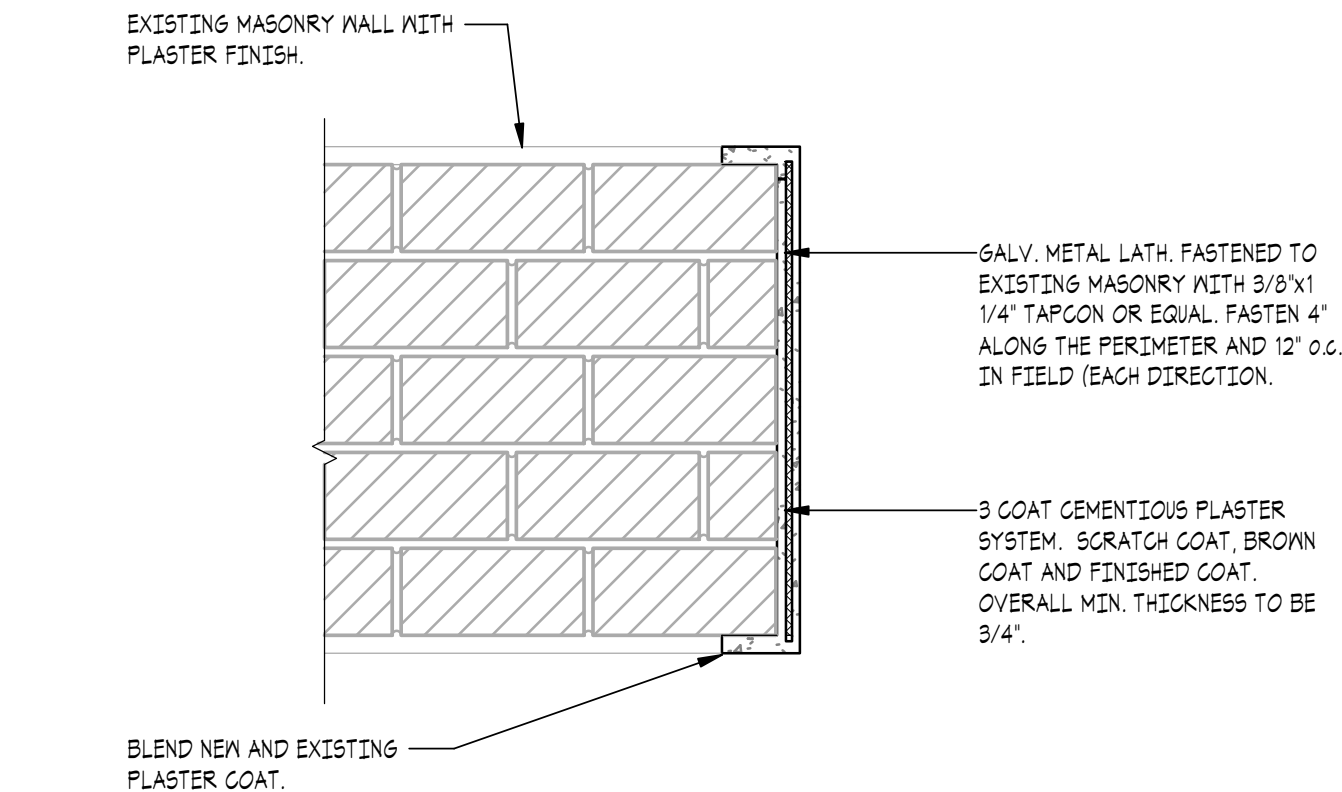
2 NEW 2x6 PLUMBING WALL



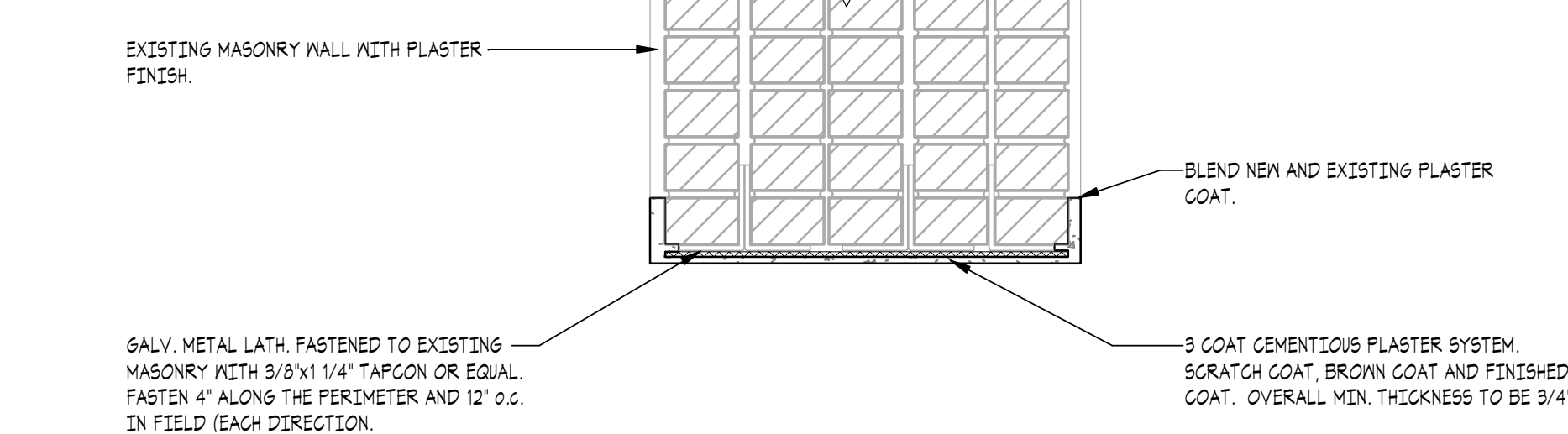
1 NEW 2x4 WALL



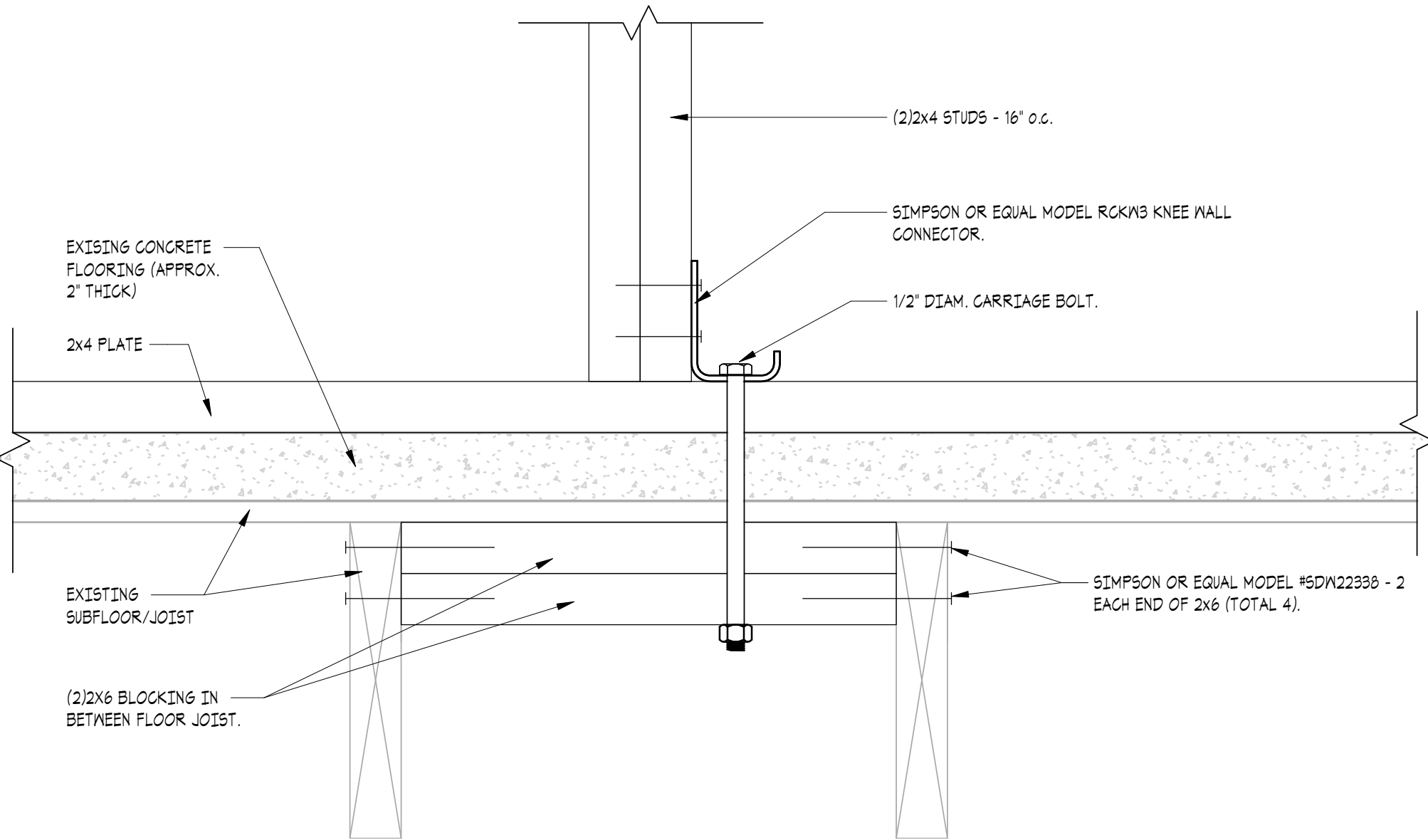
6 NEW 2x4 WALL



3 MASONRY REPAIRS @ JAMB OF OPENING  
SCALE: 1 1/2" = 1'-0"



2 MASONRY REPAIRS @ HEAD OF OPENING  
SCALE: 1 1/2" = 1'-0"



1 WALL SUPPORT DETAIL  
SCALE: 3" = 1'-0"

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CLIENT:

CITY OF  
WATERVLIET

PROJECT:

NEW TOILET ROOM,  
HANDICAP LIFT AND  
ELECTRICAL UPGRADES:  
1501 1ST AVENUE  
WATERVLIET, NEW YORK 12189

REVISION:

NO.	
-----	--

DATE: 05.08.2023

CONTRACT NUMBER: 1

DRAWN BY: TVE

CHECKED BY: TVE

## PLUMBING LEGEND AND DETAILS

P000

## PLUMBING ABBREVIATIONS

AV	AIR ADMITTANCE VALVE
AFF	ABOVE FINISH FLOOR
BO	BOTTOM OF PIPE
BTU	BRITISH THERMAL UNITS
CFH	CUBIC FEET PER HOUR
CO	CLEANOUT
DCW	DOMESTIC COLD WATER
DHW	DOMESTIC HOT WATER
DHWR	DOMESTIC HOT WATER RETURN
DN	DOWN
DPCO	DECK PLATE CLEAN OUT
EQ	EQUAL
EW	ELECTRIC WATER HEATER
FD	FLOOR DRAIN
FF	FINISH FLOOR
FBO	FURNISHED BY OTHERS
FS	FLOOR SLAB
GR	GRADE
LAV	LAVATORY
MBH	THOUSAND BTU PER HOUR
MR	MOP RECEPTOR
NFW	NON-FREEZE WALL HYDRANT
NC	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
SA	SHOCK ABSORBER
SK	SINK
SF	SQUARE FEET
Typ	TYPICAL
UNO	UNLESS OTHERWISE NOTED
VF	VERIFY IN FIELD
WC	WATER CLOSET
WCO	WALL-CLEANOUT
WH	WATER HEATER
GC	GENERAL CONTRACTOR
PC	PLUMBING CONTRACTOR
MC	HYAC MECHANICAL CONTRACTOR
EC	ELECTRICAL CONTRACTOR
FP	FIRE PROTECTION
Ø	DIAMETER

NOTE: THIS LIST MAY NOT BE ALL INCLUSIVE

### PIPE LEGEND

SINGLE LINE	DOUBLE LINE	DESCRIPTION
		DOMESTIC COLD WATER
		DOMESTIC HOT WATER
		DOMESTIC HOT WATER RETURN
		140°F DOMESTIC HOT WATER
		140°F DOMESTIC HOT WATER RETURN
		PROPANE GAS
		SANITARY WASTE AND DRAIN
		KITCHEN GREASE DRAIN
		VENT
		STORM WATER (ROOF DRAIN)
		PIPE TURNING UP
		PIPE TURNING DOWN
		BALL VALVE
		BUTTERFLY VALVE
		GATE VALVE
		CHECK VALVE
		PIPE CAP
		PIPE REDUCER
		NON FREEZE WALL
		HOSE

## PLUMBING SHEET LIST

Sheet Number	Sheet Name
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P000	PLUMBING LEGEND AND DETAILS
P100	BASEMENT PLUMBING PLAN
P101	FIRST FLOOR PLUMBING PLANS

## PLUMBING SCHEDULE

ID	DESCRIPTION	MIN PIPE SIZES (IN)				NOTES
		CW	HW	SAN	VENT	
L-1	LAVATORY, ACCESSIBLE	1/2	1/2	1 1/2	1 1/2	1
WC-1	WATER CLOSET, ACCESSIBLE	1/2	-	3	2	2
EW-H-1	ELECTRIC WATER HEATER	1/2	1/2			3

NOTES:

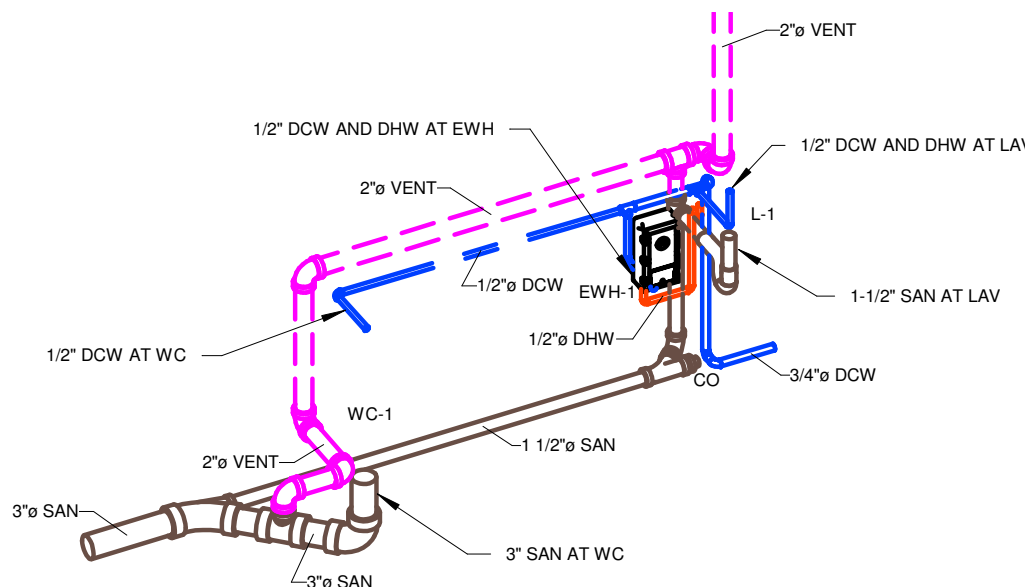
1. PROVIDE ADA COMPLIANT LAVATORY, FAUCET, GRID DRAIN, AND TRAP INSULATION. PROVIDE STOPS AND ESCUTCHEONS.
2. PROVIDE WATER CLOSET TO BE FLOOR MOUNTED, TANK TYPE, ACCESSIBLE WITH FLUSH MECHANISM ON WIDE SIDE (APPROACH SIDE) OF ROOM. PROVIDE STOP AND ESCUTCHEON FOR WATER SUPPLY. PROVIDE OPEN FRONT SEAT.
3. PROVIDE WALL MOUNTED TANKLESS ELECTRIC WATER HEATER, EEMAX LAVADVENTAGE MODEL NO. SPEX55T, 0.5 GPM AT 75 DEGREE TEMPERATURE RISE, 5.5 KW, 240 V, SINGLE PHASE.

## GENERAL PLUMBING NOTES

1. INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF BUILDING AND PLUMBING CODES OF THE STATE OF NEW YORK AND THE ORDINANCES AND REGULATIONS OF THE TOWN OF WATERVLIET, NY.
2. CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE GENERAL AREA AND EXISTING CONDITIONS PRIOR TO PREPARING BID AND STARTING WORK.
3. PLUMBING CONTRACTOR SHALL COORDINATE ALL INSTALLATIONS, MATERIAL DELIVERIES, AND MATERIAL STORAGE WITH THE CONSTRUCTION MANAGER (CM) AND/OR OWNER'S REPRESENTATIVE.
4. PLUMBING CONTRACTOR SHALL COORDINATE THE WORK WITH THE WORK OF OTHER TRADES. UTILITY SPACE ABOVE CEILINGS AND WITHIN OTHER CONCEALED LOCATIONS IS LIMITED.
5. DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE INTENDED TO SHOW APPROXIMATE LOCATIONS, UNLESS SPECIFICALLY NOTED OTHERWISE. NOT ALL REQUIRED OFFSETS, CHANGES IN ELEVATION, OR REQUIRED FITTINGS ARE SHOWN. PROVIDE ALL REQUIRED COMPONENTS WHETHER SHOWN ON THE DRAWINGS OR NOT.
6. FURNISH AND INSTALL ALL ANCILLARY ITEMS WHICH ARE OBVIOUSLY OR REASONABLY NECESSARY TO COMPLETE THE INSTALLMENT EVEN IF THESE ITEMS ARE NOT SPECIFICALLY CALLED FOR. SUCH ITEMS MAY INCLUDE NUTS, BOLTS, ANCHORS, HANGERS, BRACKETS, SLEEVES, GASKETS, CAULKING, ETC.
7. ALL PIPING PASSING THROUGH FIRE-RATED AND/OR SMOKE-RATED PARTITIONS SHALL BE FIRE STOPPED. REFER TO ARCHITECTURAL PLANS FOR DESCRIPTIONS AND LOCATIONS OF RATED PARTITIONS. ALL PENETRATIONS OF PARTITIONS THAT ARE REQUIRED TO HAVE A RATING SHALL BE FIRE STOPPED USING AND ASSEMBLY THAT HAS BEEN APPROVED BY A RECOGNIZED TESTING AGENCY.
8. PROVIDE MEANS FOR ISOLATING EACH PIECE OF EQUIPMENT FOR SERVICE. PROVIDE UNIONS OR FLANGES AT EACH PIECE OF EQUIPMENT TO ALLOW FOR REMOVAL WITH ISOLATION VALVES CLOSED.

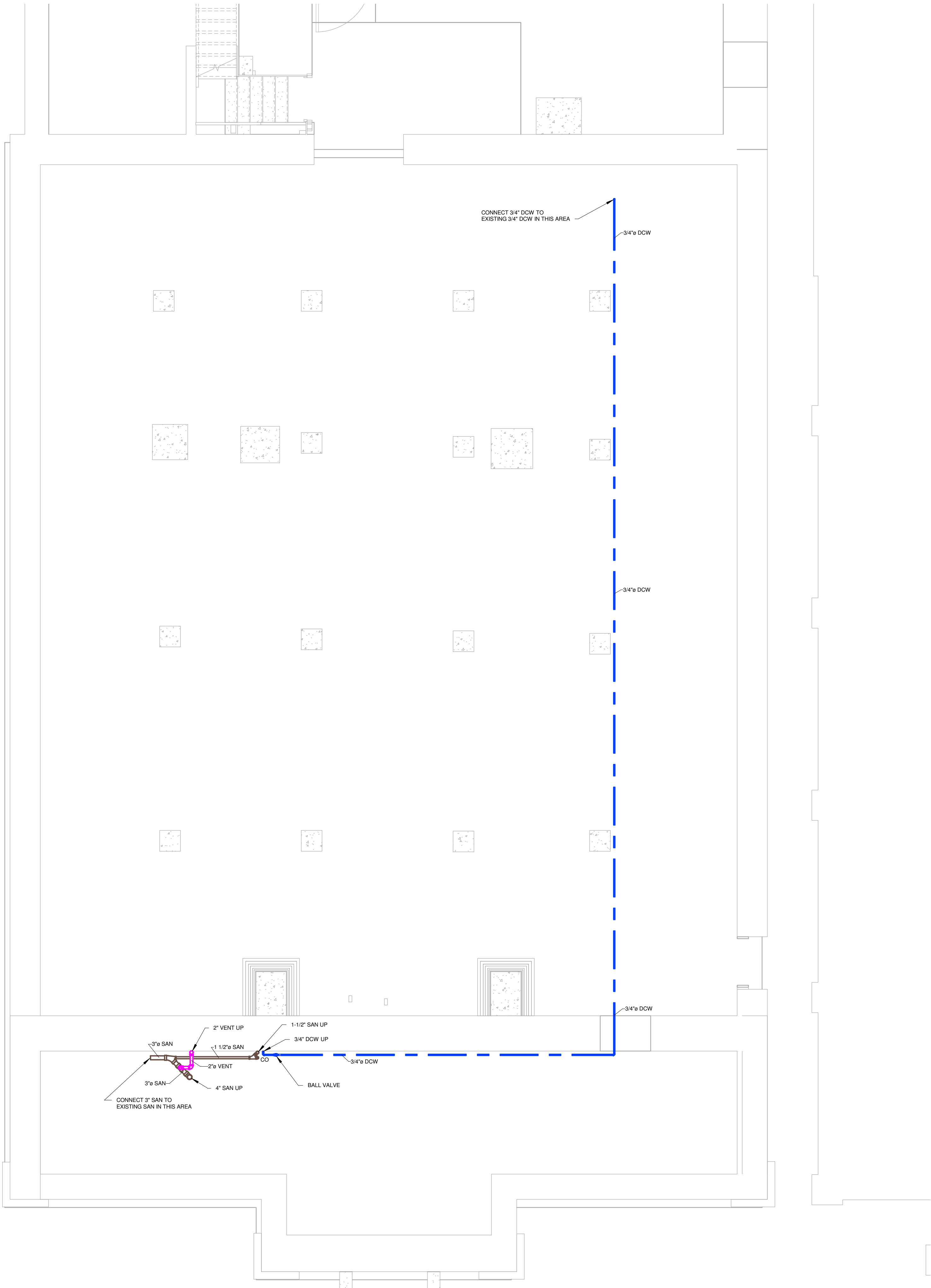
PLUMBING NOTES:

1. ALL PIPE, TUBING, MATERIAL AND COMPONENTS IN CONTACT WITH POTABLE WATER SHALL BE LEAD-FREE AS DEFINED BY THE N.Y.S. PLUMBING CODE.
2. ABOVE GRADE SANITARY DRAIN, WASTE AND VENT PIPING SHALL BE SCHEDULE 40 SOLID-CORE PVC PIPE WITH SOLVENT WELD JOINTS. FITTINGS SHALL BE DRAINAGE PATTERN.
3. UNDERGROUND SANITARY AND STORM PIPING SHALL BE SCHEDULE 40 SOLID-CORE PVC PIPE WITH SOLVENT WELD JOINTS. FITTINGS SHALL BE DRAINAGE PATTERN.
4. DOMESTIC WATER PIPING SHALL BE ANY OF THE FOLLOWING:
  - 4.1 TYPE L COPPER WITH FORMED COPPER FITTINGS WITH PRESS-FIT JOINTS. COPPER JOINTS FORMED WITH PRESS-FIT FITTINGS AND TOOLS PROVIDED THE MECHANICS MAKING THE JOINTS HAVE BEEN TRAINED BY THE MANUFACTURER.
  - 4.2 CPVC PIPING WITH APPROVED, COMPATIBLE FITTINGS AND SOLVENT CEMENT. FLOWGUARD GOLD CPVC OR APPROVED EQUAL.
  - 4.3 PIPING RUNOUTS TO FIXTURES, 3/4" NOMINAL DIAMETER OR LESS, MAY BE TYPE A PEX TUBING WITH GRIMP JOINTS OR EXPANSION FITTINGS. ALL COMPONENTS TO BE NSF APPROVED FOR USE WITH POTABLE WATER. TYPE L COPPER STUD JOINTS WITH WALL ANCHOR PLATES FOR ALL FIXTURE SUPPLIES. ROUTE TUBING IN NEAT, COORDINATED MANNER. USE STRIKE PLATES TO PROTECT TUBING AT PENETRATIONS OF WALL STUDS.
5. INSULATION: DHW AND DHW RECIRCULATION 1" AND UNDER- 1/2" FIBERGLASS WITH ASJ. DHW RECIRCULATION 1 1/2" AND OVER- 1" FIBERGLASS WITH ASJ. DOMESTIC COLD WATER MAINS AND HORIZONTAL PIPING- 1/2" FIBERGLASS WITH ASJ. FOR INSULATED PIPING INCLUDE ALL VALVES, FITTINGS, ETC. AND PROVIDE PVC INSULATION COVERS.

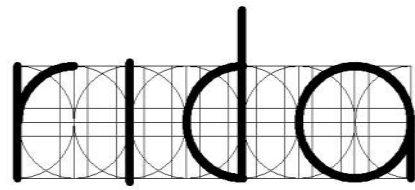


## 1 PLUMBING ISOMETRIC DIAGRAM

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① BASEMENT PLUMBING PLAN  
1/4" = 1'-0"



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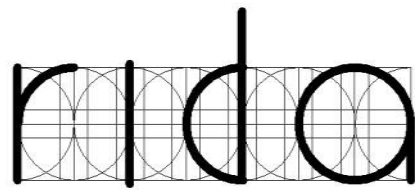
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BASEMENT  
PLUMBING PLAN

P100





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WATERVLIET, N.Y. 12189

PROJECT:

NEW TOILET ROOM,  
HANDICAP LIFT AND  
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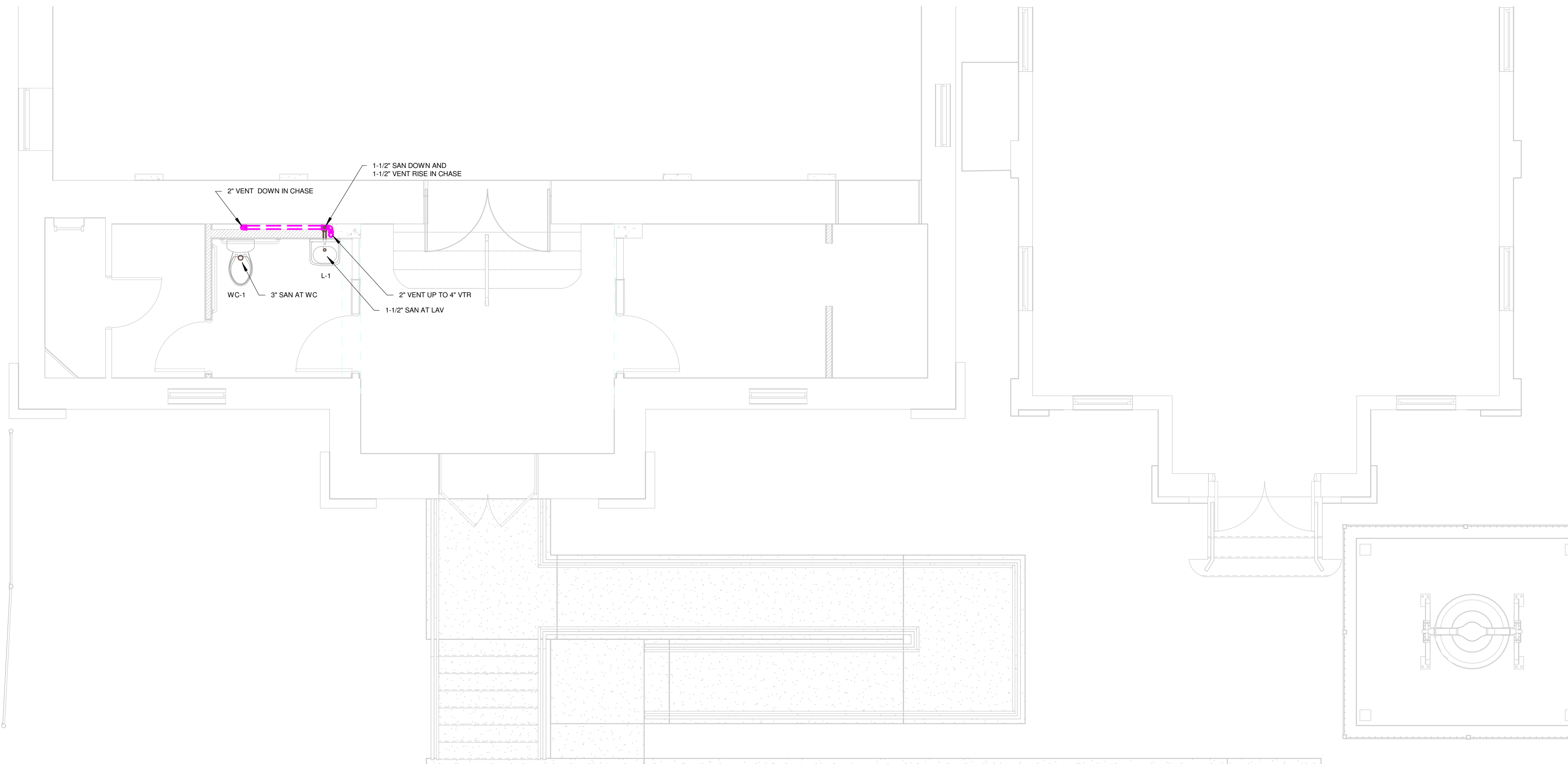
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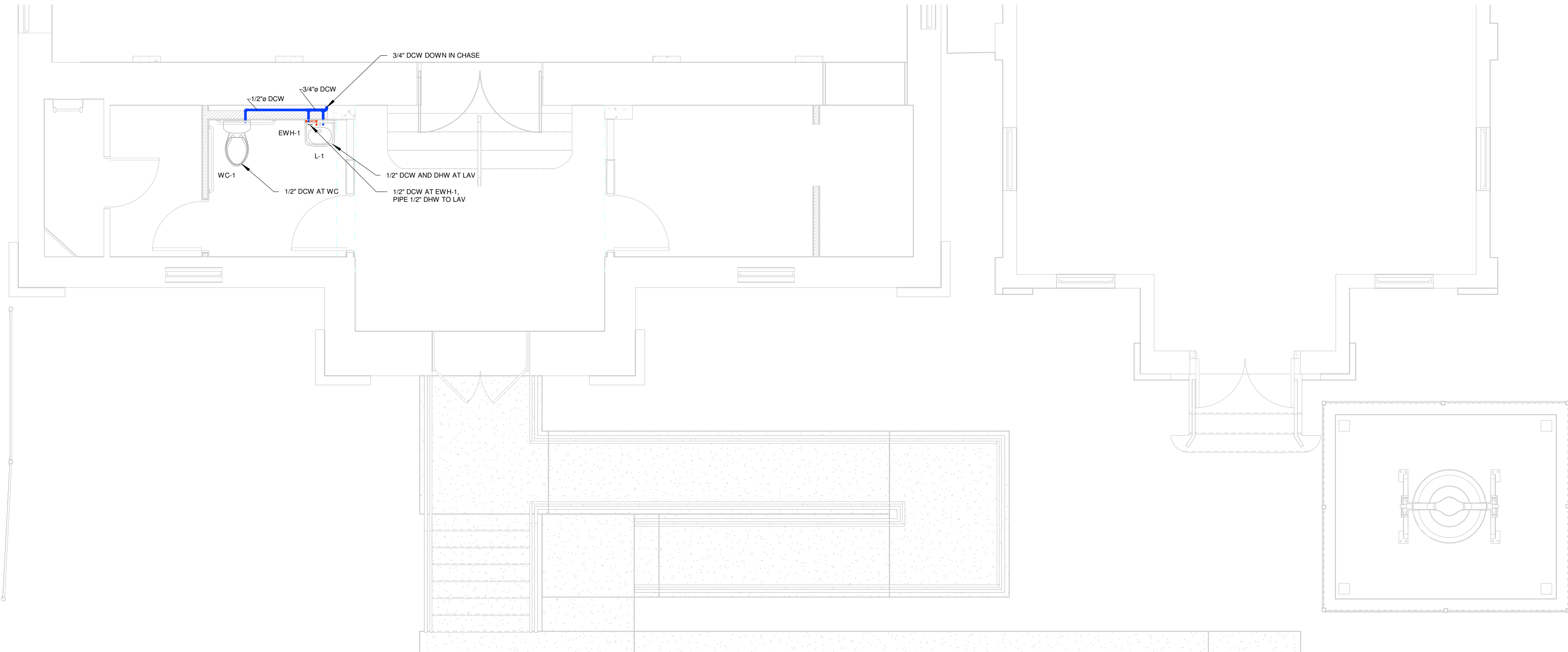
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FIRST FLOOR  
PLUMBING  
PLANS

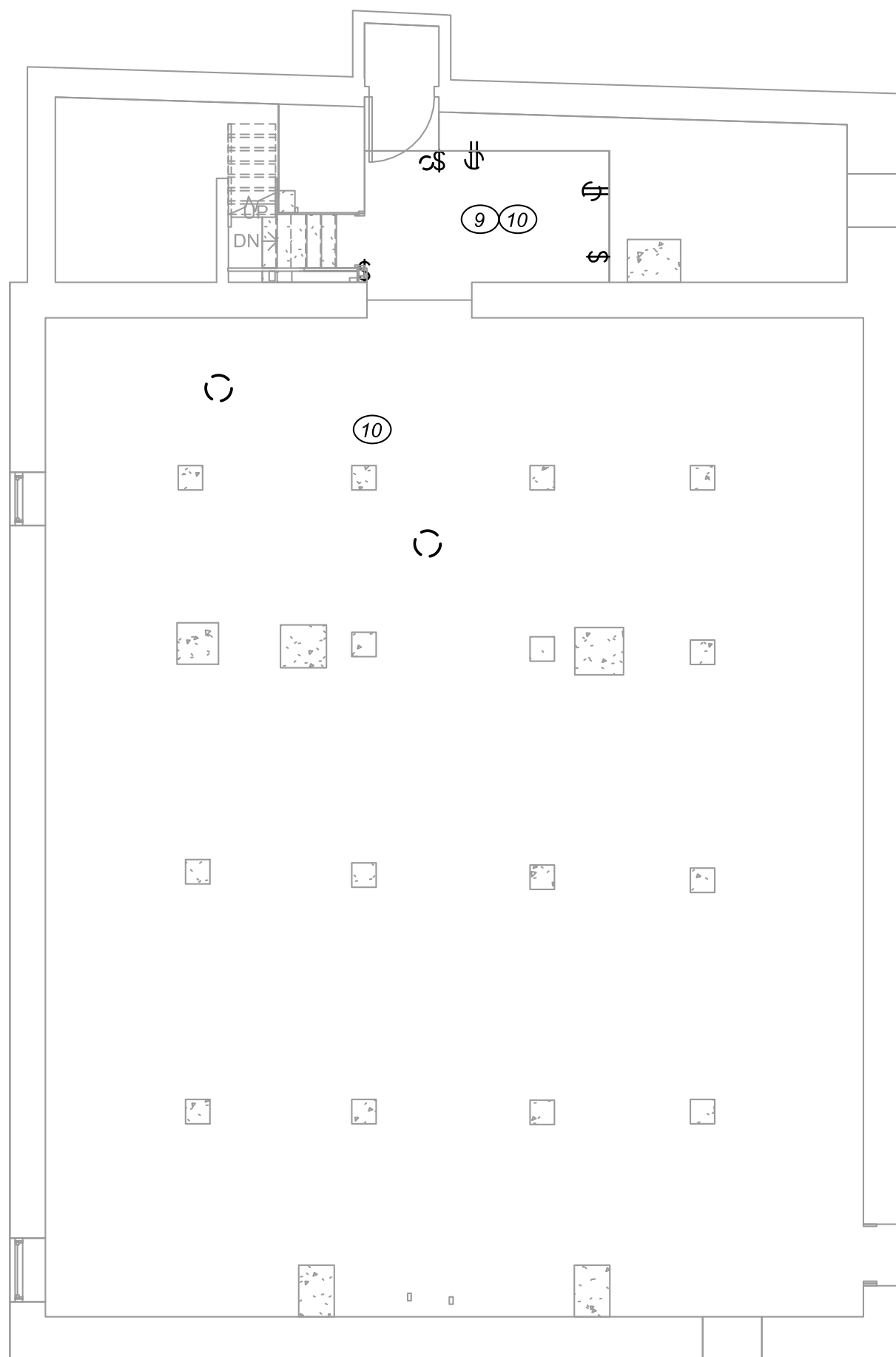
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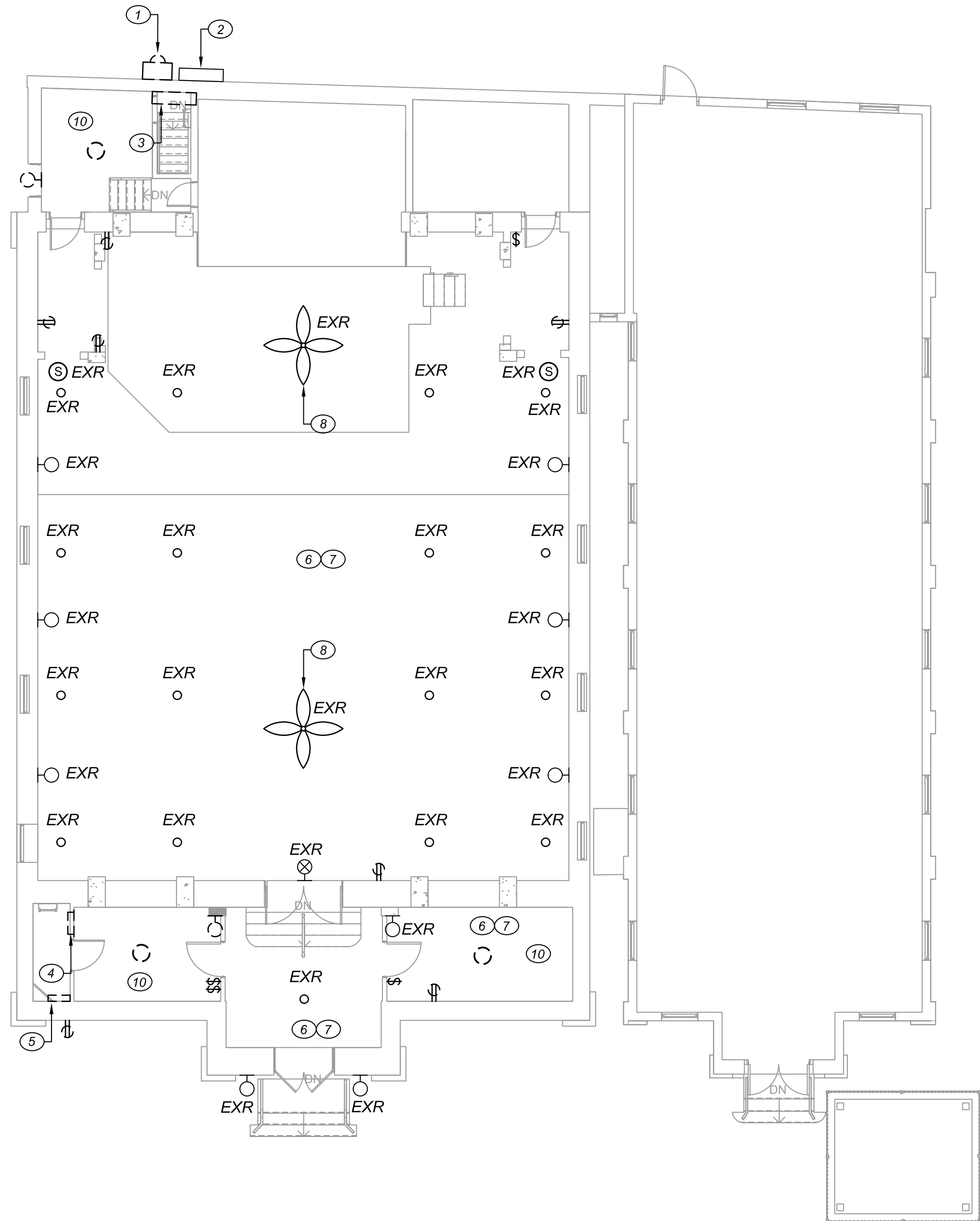
① FIRST FLOOR PLUMBING PLAN -DRAIN, WASTE AND VENT  
1/4" = 1'-0"



② FIRST FLOOR PLUMBING PLAN - POTABLE WATER  
1/4" = 1'-0"



1 **BASEMENT REMOVALS PLAN**  
ER01 Scale: 1/8"=1'-0"



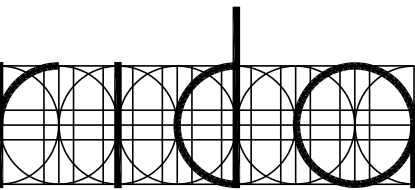
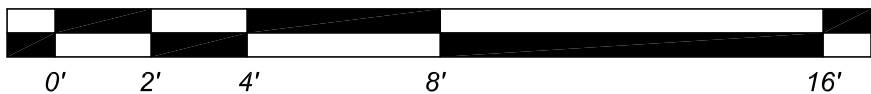
2 **LEVEL 1 ELECTRICAL REMOVALS PLAN**  
ER01 Scale: 1/8"=1'-0"

**KEYED NOTES - DEMOLITION:**

- 1 DISCONNECT AND REMOVE EXISTING METER AND ASSOCIATED OVERHEAD SERVICE AND ASSOCIATED FEEDER TO ADJACENT PANELBOARD. EC TO COORDINATE WITH NATIONAL GRID TO DISCONNECT OVERHEAD SERVICE.
- 2 EXISTING PANELBOARD TO REMAIN.
- 3 DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL EQUIPMENT ON THIS WALL AND ALL ASSOCIATED FEEDERS AND SUB-FEEDERS.
- 4 DISCONNECT AND REMOVE EXISTING PANELBOARD AND ASSOCIATED FEEDER AND ALL BRANCH CIRCUITS.
- 5 DISCONNECT AND REMOVE EXISTING TIME CLOCK AND ASSOCIATED WIRING BACK TO SOURCE.
- 6 EC TO DISCONNECT EXISTING LIGHT FIXTURES IN THIS AREA AND REMOVE ASSOCIATED CONTROL AND WIRING IN THEIR ENTERILY. LIGHT FIXTURE TO REMAIN FOR RECONNECTION. TYPICAL FOR LIGH FIXTURES INDICATED AS "EXR".
- 7 EC TO DISCONNECT AND REMOVE EXISTING RECEPTACLES IN THIS AREA. REMOVE ASSOCIATED WIRING IN ITS ENTERILY BACK TO SOURCE.
- 8 EC TO DISCONNECT EXISTING CEILING FAN AND REMOVE EXISTING CONTROL AND WIRING. CEILING FAN TO REMAIN FOR RECONNECTION.
- 9 EC TO DISCONNECT AND REMOVE EXISTING NONMETALLIC WIRING IN THIS AREA. EC TO DISCONNECT EXISTING PUMPS, HVAC EQUIPMENT, ETC. IN THIS AREA AND REMOVE ASSOCIATED WIRING IN THEIR ENTIRELY BACK TO SOURCE. EXISTING PUMPS, HVAC EQUIPMENT, ETC. TO REMAIN FOR RECONNECTION.
- 10 EC TO DISCONNECT AND REMOVE EXISTING LIGHT FIXTURES AND RECEPTACLES IN THIS AREA AS INDICATED. REMOVE ASSOCIATED JUNCTION BOXES, WIRING, ETC. IN THEIR ENTERILY BACK TO SOURCE.

**GENERAL NOTES:**

- A. REFER TO SHEET E-000 FOR ELECTRICAL LEGENDS AND NOTES.
- B. PRIOR TO THE START OF WORK, ELECTRICAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS.
- C. DASHED SYMBOLS AND LINES INDICATE TO BE REMOVED.
- D. EC SHALL REMOVE ALL EXISTING DEVICES, WIRING, ETC. ASSOCIATED TO LIGHT FIXTURES AND RECEPTACLES IN THEIR ENTIRELY UNLESS OTHERWISE NOTED (UON).
- E. EC TO COORDINATE WITH OWNER TO REMAIN THE INDICATED LIGHTING FIXTURES AND FANS INDICATED AS "EXR".
- F. THE EC SHALL ARRANGE IN TIMELY MANNER WITH NATIONAL GRID TO DISCONNECT AND RECONNECT EXISTING SERVICE ENTRANCE FOR MODIFICATIONS WORK REQUIRED AS INDICATED IN THE ELECTRICAL ROOM. EC TO PAY FOR ALL NATIONAL GRID SERVICES AND CHARGES AS REQUIRED FOR A COMPLETE OPERATING SYSTEM. EC TO PROCEED WITH INDICATED MODIFICATIONS ONLY AFTER NATIONAL GRID DISCONNECT THE SERVICE ENTRANCE.
- G. REFER TO NEC AND NATIONAL GRID SPECIFICATIONS FOR ELECTRICAL INSTALLATIONS.
- H. EC TO PROVIDE TEMPORARY POWER FOR ENTIRE BUILDING DURING POWER OUTAGE.
- I. EC TO PROVIDE GROUNDING AND BONDING PER NEC



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2 FIFTEENTH STREET  
WATERVLIET, NEW YORK 12189

**PROJECT:**

NEW TOILET ROOM  
HANDICAP LIFT AND  
ELECTRICAL UPGRADES

DUTCH REFORM CHURCH  
1501 1st AVENUE  
WATERVLIET, NEW YORK 12189

**REVISION**

NO.	

DATE: 05.08.2023

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**ELECTRICAL  
REMOVALS  
PLAN**










**ER01**








## ABBREVIATIONS

ABBREVIATIONS	
A	AMPERE
AC	ALTERNATING CURRENT
AF	AMPERE FRAME
AFF	ABOVE FINISHED FLOOR
AIC	AMPERE INTERRUPTING CAPACITY
AT	AMPERE TRIP
AWG	AMERICAN WIRE GAUGE
BKR	BREAKER
BLDG	BUILDING
C	CONDUIT
CB	CIRCUIT BREAKER
CLG	CEILING
Δ	DELTA CONNECTION
DIA	DIAMETER
DIST	DISTRIBUTION
DWG	DRAWING
EC	ELECTRICAL CONTRACTOR
EF	EXHAUST FAN, PBO
EG	EQUIPMENT GROUND
ELEC	ELECTRIC(AL)
ELU	EMERGENCY LIGHTING UNIT
EMERG	EMERGENCY
EMT	ELECTRICAL METALLIC TUBING
EQUIP	EQUIPMENT
EWB	ELECTRIC WALL HEATER, PBO
EXR	EXISTING TO REMAIN
ER	EXISTING REINSTALLED
FKT	FIXTURE
FLA	FULL LOAD AMPS
G, GND	GROUND
GFI	GROUND FAULT CIRCUIT INTERRUPTOR
HT	HEIGHT
HP	HORSEPOWER
JB / J-BOX	JUNCTION BOX
k	KILO
kAIC	KILOAMPERES INTERRUPTING CAPACITY
kCML	THOUSAND CIRCULAR MILS
KVA	KILOVOLT-AMPERE
KW	KILOWATT
LTG	LIGHTING
MAX	MAXIMUM
MC	METAL CLAD CABLE
MCB	MAIN CIRCUIT BREAKER
MIN	MINIMUM
MLO	MAIN LUGS ONLY
MT	MOUNT
MTR	MOTOR
NEC	NATIONAL ELECTRIC CODE
NF	NON-FUSED
NTS	NOT TO SCALE
OCPD	OVERCURRENT PROTECTIVE DEVICE
OH	OVERHEAD
OS	OCCUPANCY SENSOR
P	POLE(S)
PBO	PROVIDED BY OTHERS
PC	PHOTOCELL
PF	POWER FACTOR
PH	PHASE
PNL	PANEL
PVC	POLYVINYL CHLORIDE
REC, RECEPT	RECEPTACLE
RE	RELOCATED
RGS	RIGID GALVANIZED STEEL CONDUIT
RM	ROOM
RTU	ROOF TOP UNIT, PBO
SCH	SCHEDULE
SHT	SHEET
SW	SWITCH
TYP	TYPICAL
UG	UNDERGROUND
UH	UNIT HEATER
UON	UNLESS OTHERWISE NOTED
V	VOLT, VOLTS
VA	VOLT-AMPS
Y	WYE CONNECTION
W	WIRE
WP	WEATHERPROOF
XFMR	TRANSFORMER

## LEGEND

LIGHTING		NOTE: REFER TO THE LIGHTING FIXTURE SCHEDULE ON THIS SHEET.
F1 	7" SQUARE LED CEILING LIGHT	
F2 	48" LONG LED STRIP LIGHT WITH ACRYLIC LENS	
F3 	WALL MOUNTED LED LIGHT	
F4 	PENDANT CHANDELIER	
ELU 	EMERGENCY LIGHTING UNIT WITH BATTERY	
EX 	EXIT SIGN WITH BATTERY	
\$ 	SINGLE POLE WALL-MOUNTED SWITCH	
\$3 	3-WAY WALL-MOUNTED SWITCH	
\$ 	WALL-MOUNTED OCCUPANCY SENSOR SWITCH	

LAMPS		FIXTURE			BASIS OF DESIGN		DESCRIPTION	
TAG	#	TYPE	MOUNTING	VOLTS	VA	MANUF.		MODEL
F1	1	LED	SURFACE	120	13	JUNO LIGHTING	JSFSQ SLIM FORM	7.77" SQUARE X 1.25" DEEP, 1000LM, 2700K CCT, 90 CRI, SURFACE-MOUNTED PANEL FIXTURE WITH WHITE DIFFUSER AND HOUSING
F2	1	LED	SURFACE	120	35	LITHONIA LIGHTING	BLWP4 40L ADP LP835	48" LONG X 5.5" WIDE 4000LM, 3500K CCT, STRIP FIXTURE WITH CURVED RIBBED MOLDED DIFFUSER
F3	1	LED	SURFACE	120	35	LITHONIA LIGHTING	FMVTSL-24IN-120V-30K-90CRI-BN	24" LONG, 1300LM, 3000K CCT, 90 CRI, WALL-MOUNTED VANITY FIXTURE WITH 5" SQUARE WHITE DIFFUSER AND BRUSHED NICKEL HOUSING
F4	6	LED	PENDANT	120	42.6	EUROFASE INC.	TORNA 38440-014	27.5" OVERALL DIAMETER (6) LAMP LED CHANDELIER FIXTURE WITH COFFEE GOLD FINISH, FROSTED ACRYLIC SHADES, 2260 LUMENS, 3000K CCT, 90 CRI, ROD PENDANT, 48" OVERALL HEIGHT
ELU	2	LED	SURFACE	120	0	ISOLITE LIGHTING	RL2LED 2 WH MBC	COMPACT LOW-PROFILE EMERGENCY LIGHT WITH (2) HI-OUTPUT ADJUSTABLE HEADS, WHITE THERMOPLASTIC HOUSING, NI-CAD BATTERY, BACK/CEILING MOUNT
EX	1	LED	SURFACE	120	0	ISOLITE LIGHTING	RL EM R U WH MTEB	EXIT SIGN WITH WHITE THERMOPLASTIC HOUSING, RED LETTERS, NI-CAD BATTERY, UNIVERSAL MOUNT, 3 HOUR EMERGENCY OPERATION

POWER	
	GFI DUPLEX RECEPTACLE, SURFACE MOUNTED AT 18" AFF UOM.
	JUNCTION BOX
	SURFACE MOUNTED PANELBOARD
	FLUSH MOUNTED PANELBOARD
 A/#	FUSED DISCONNECT SWITCH - AMP / NO. OF POLES
	MANUAL MOTOR RATED SWITCH
	ELECTRICAL RACEWAY
	BRANCH CIRCUIT HOMERUN TO POWER PANEL. "PANEL-X" INDICATES PANEL & CIRCUIT NUMBER
PANEL-X	

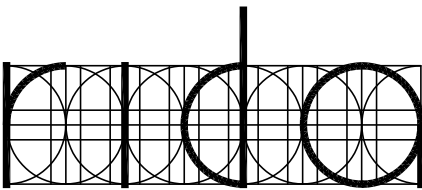
## DRAWING LIST

- E000 LEGEND, ABBREVIATIONS & NOTES
- ER01 ELECTRICAL REMOVALS PLAN
- E100 BASEMENT AND LEVEL 1 LIGHTING PLANS
- E101 LEVEL 2 LIGHTING PLAN
- E200 POWER PLANS
- E201 POWER PLANS
- E401 POWER RISER DIAGRAMS
- E500 PANELBOARD SCHEDULES

## NOTES

GENERAL NOTES:

- A. INSTALLATIONS SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE BUILDING, ELECTRICAL AND AND ENERGY CONSERVATION CODES, AND THE LATEST APPROVED EDITIONS OF THE NFPA TO NATIONAL ELECTRICAL CODE, AND ALL REFERENCED STANDARDS.
- B. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL INSTALLATIONS, MATERIAL DELIVERIES, AND MATERIAL STORAGE WITH THE CONSTRUCTION MANAGER (CM) AND/OR THE OWNER'S REPRESENTATIVE.
- C. ELECTRICAL CONTRACTOR SHALL COORDINATE THE WORK WITH THE WORK OF OTHER TRADES. COORDINATE INSTALLATIONS WITH OTHER TRADES PRIOR TO STARTING WORK.
- D. DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE INTENDED TO SHOW APPROXIMATE LOCATIONS UNLESS SPECIFICALLY NOTED OTHERWISE. NOT ALL REQUIRED OFFSETS, CHANGES IN ELEVATION, OR REQUIRED FITTINGS ARE SHOWN. PROVIDE ALL REQUIRED COMPONENTS WHETHER SHOWN ON THE DRAWINGS OR NOT.
- E. FURNISH AND INSTALL ALL ANCILLARY ITEMS WHICH ARE OBVIOUSLY OR REASONABLY NECESSARY TO COMPLETE THE INSTALLATION EVEN IF THESE ITEMS ARE NOT SPECIFICALLY CALLED FOR. SUCH ITEMS MAY INCLUDE NUTS, BOLTS, ANCHORS, HANGERS, BRACKETS, SLEEVES, GASKETS, CAULKING, POWER PACKS, ETC.
- F. ALL CONDUIT PASSING THROUGH FIRE-RATED AND/OR SMOKE-RATED PARTITIONS SHALL BE FIRESTOPPED. REFER TO ARCHITECTURAL PLANS FOR DESCRIPTIONS AND LOCATIONS OF RATED PARTITIONS. ALL PENETRATIONS OF PARTITIONS THAT ARE REQUIRED TO HAVE A RATING SHALL BE FIRESTOPPED USING AN ASSEMBLY THAT HAS BEEN APPROVED BY A RECOGNIZED TESTING AGENCY.
- G. WIRING SHOWN ON DRAWINGS IS DIAGRAMMATIC AND SHOWN ONLY FOR SPECIFIC CIRCUITING REQUIREMENTS.
- H. ALTHOUGH ALL BRANCH CIRCUIT WIRING AND CONDUIT ARE NOT SHOWN, IT IS THE INTENT OF THESE DOCUMENTS THAT A COMPLETE BRANCH CIRCUIT WIRING SYSTEM BE INSTALLED.
- I. A GREEN GROUND CONDUCTOR SHALL BE RUN WITH ALL BRANCH CIRCUITS AND FEEDERS. VERIFY CONDUIT SIZE TO ENSURE IT CAN ACCOMMODATE ALL PHASE, NEUTRAL AND GROUND CONDUCTORS. EVERY CIRCUIT SHALL HAVE INDEPENDENT NEUTRAL CONDUCTORS. SHARED NEUTRAL WILL NOT BE ALLOWED.
- J. REFER TO DRAWINGS FOR REMOVAL SCOPE OF WORK. ANY EQUIPMENT OR DEVICES BEING REMOVED SHALL BE REMOVED BACK TO SOURCE UNLESS OTHERWISE NOTED. THE TERM "SOURCE" REFERS TO PANELBOARD AND NOT NEAREST JUNCTION BOX OR PULL BOX.
- K. ALL DEVICE BOXES SHALL BE FLUSH MOUNTED AND ASSOCIATED CONDUITS SHALL BE CONCEALED. WHERE DEVICES ARE SHOWN ON EXISTING SURFACES, PROVIDE CUTS AND PATCHING OF SURFACES AS NECESSARY, COORDINATE WITH THE CONSTRUCTION MANAGER.
- L. LIGHTING FIXTURES SHOWN AS EXISTING TO REMAIN SHALL BE CLEANED AND RE-LAMPED. PROVIDE HARDWARE AS NECESSARY TO PROPERLY SUPPORT & SECURE FIXTURE.
- M. DEVICES SHOWN AS EXISTING TO REMAIN SHALL BE RETROFITTED PROPERLY.
- N. EMERGENCY LIGHTING UNITS AND EXIT SIGNS SHALL BE CONNECTED TO LOCAL LIGHTING BRANCH CIRCUIT AHEAD OF ALL SWITCHING.
- O. THE ROUTING OF CONDUITS, CONCEALED AND EXPOSED, SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER.
- P. SURFACE MOUNTED RACEWAYS ARE NOT ALLOWED UNLESS SPECIFICALLY NOTED OR BY THE APPROVAL OF THE ENGINEER AND ARCHITECT.



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CLIENT:

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WATERVLIE

2 FIFTEENTH STREET  
WATERVLIT, NEW YORK 12189

PROJECT:

NEW TOILET ROOM  
HANDICAP LIFT AND  
ELECTRICAL UPGRADES

DUTCH REFORM CHURCH  
1501 1st AVENUE  
WATERVLIT, NEW YORK 12189

## REVISION

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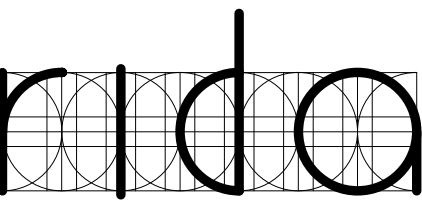
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## ELECTRICAL LEGEND, ABBREVIATIONS & NOTES

# E000



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NEW ACCESSIBLE  
BATHROOMS  
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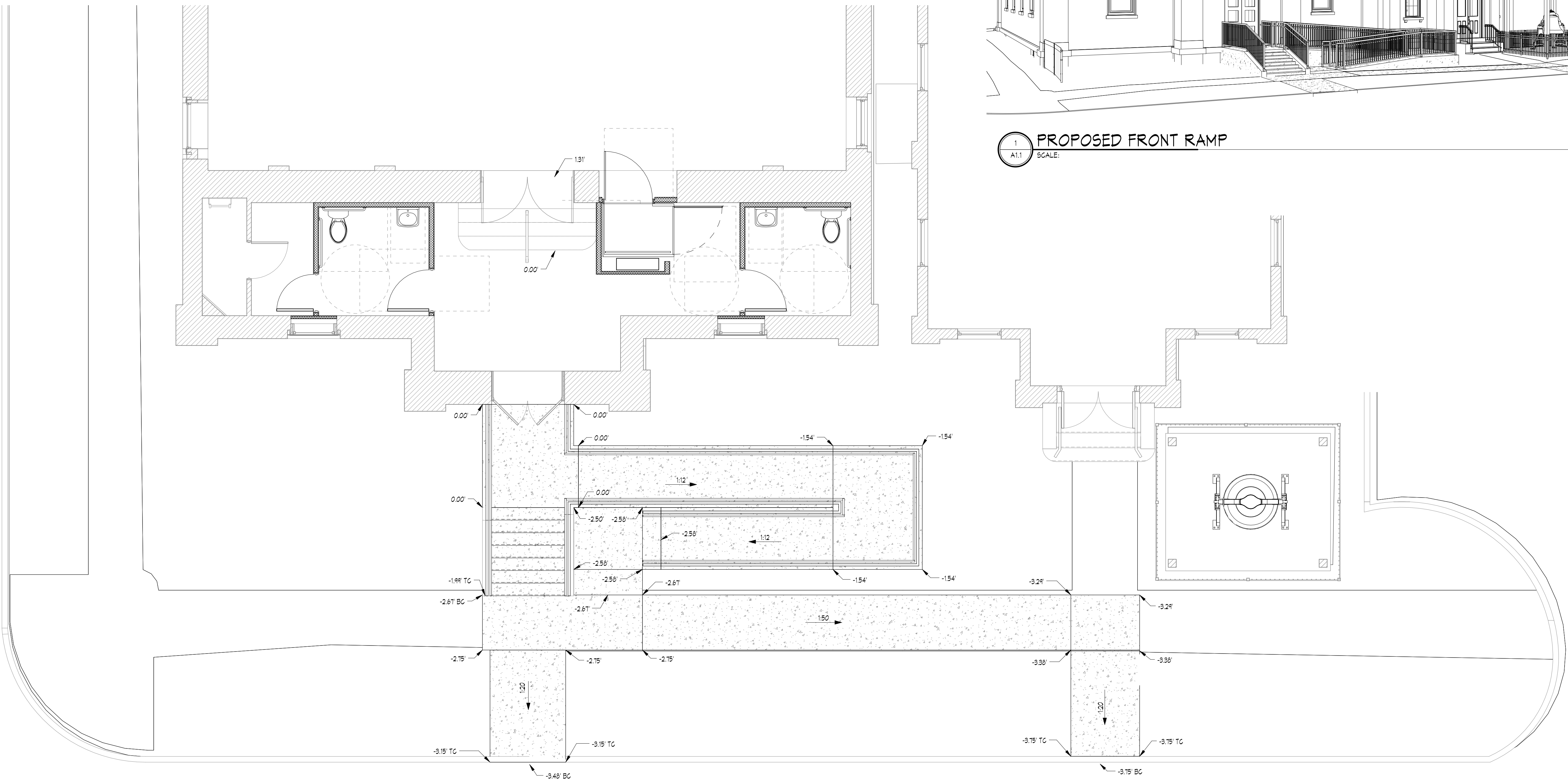
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PROPOSED  
FLOOR PLAN

A1.1

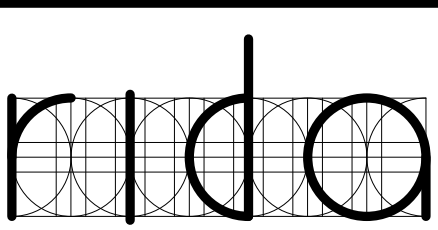


1 PROPOSED FRONT RAMP  
A1.1 SCALE:



2 PROPOSED FIRST FLOOR AND SITE PLAN  
A1.1 SCALE: 1/4" = 1'-0"





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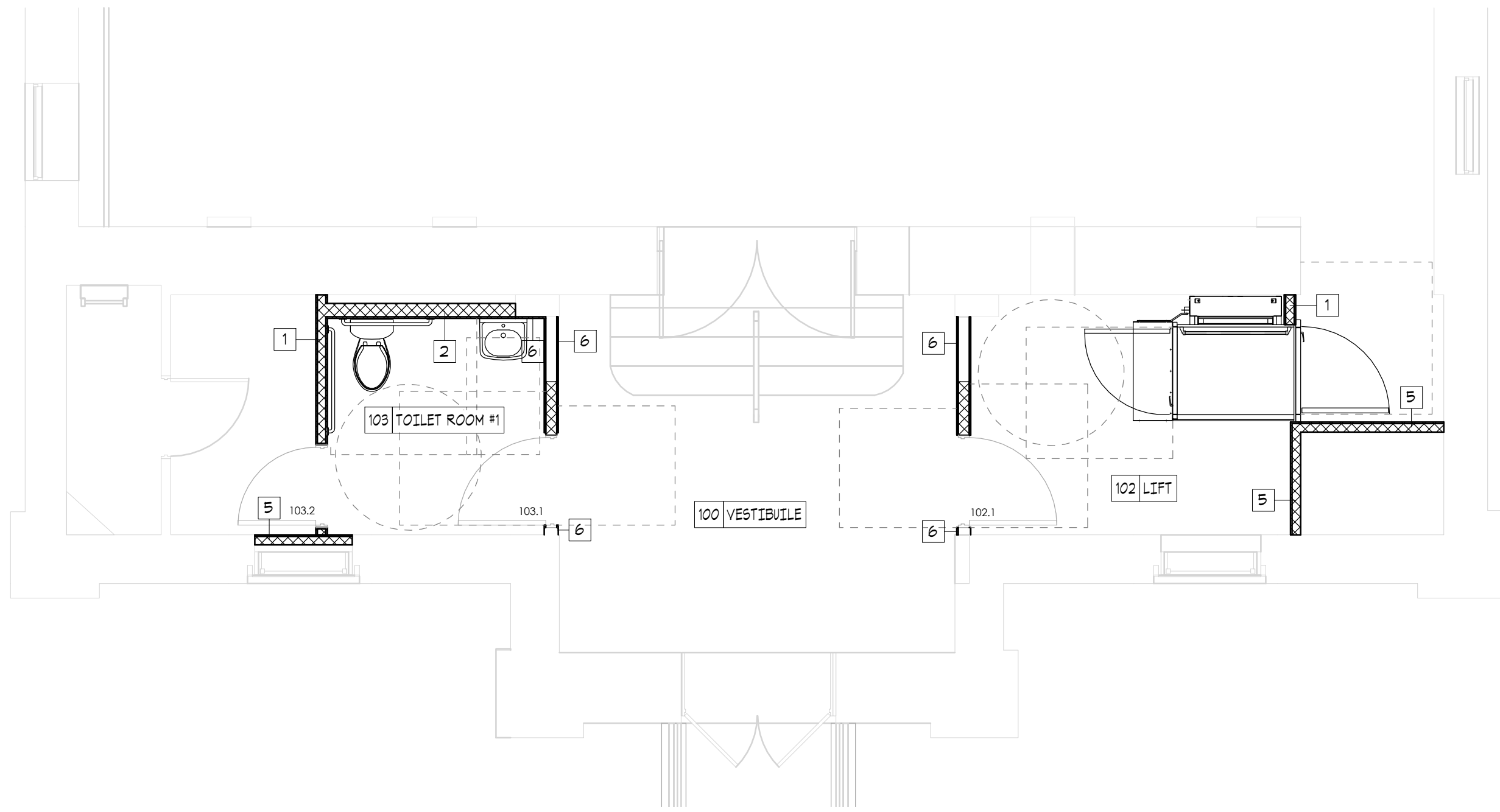
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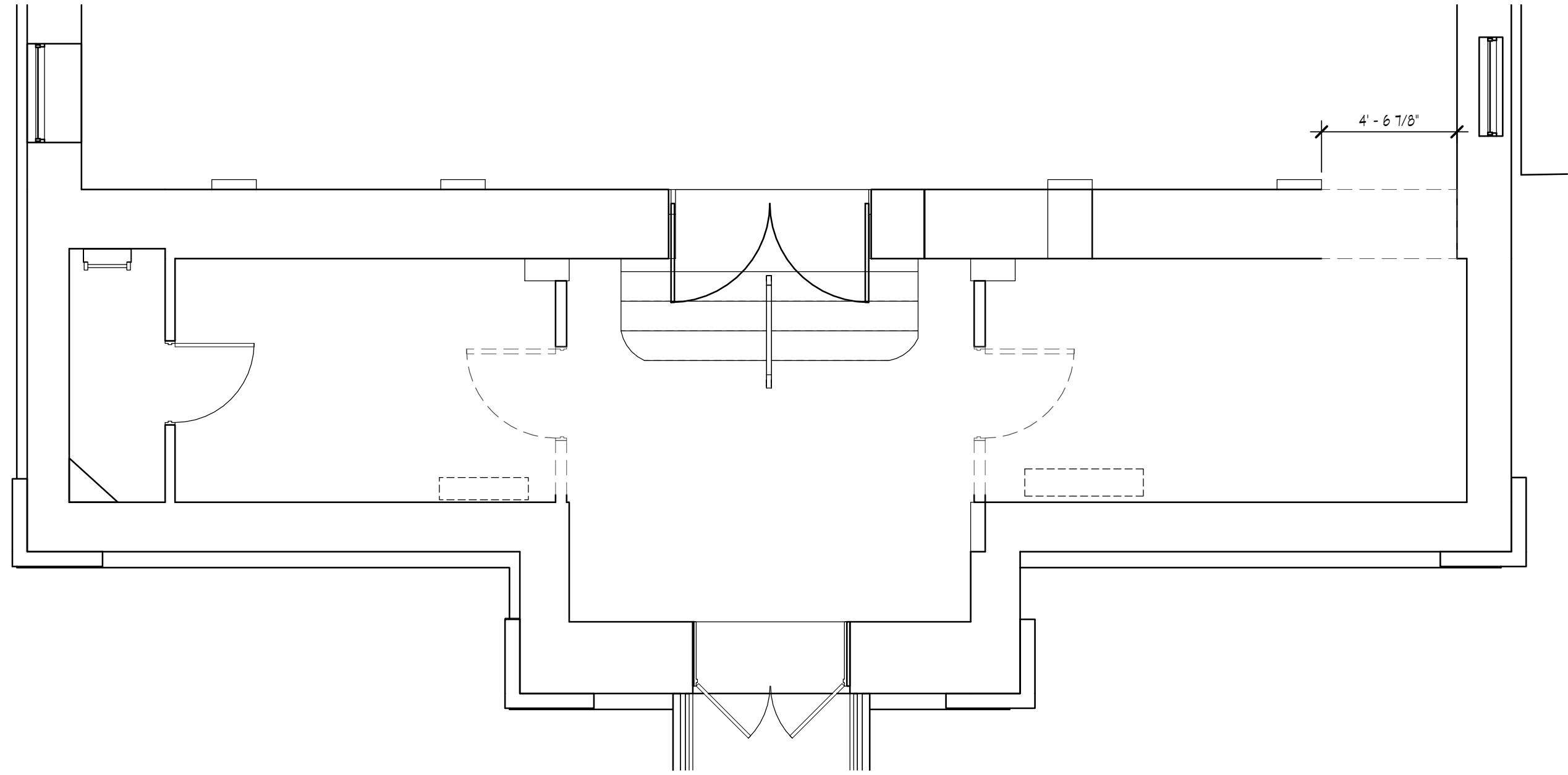
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PROPOSED  
FLOOR PLAN

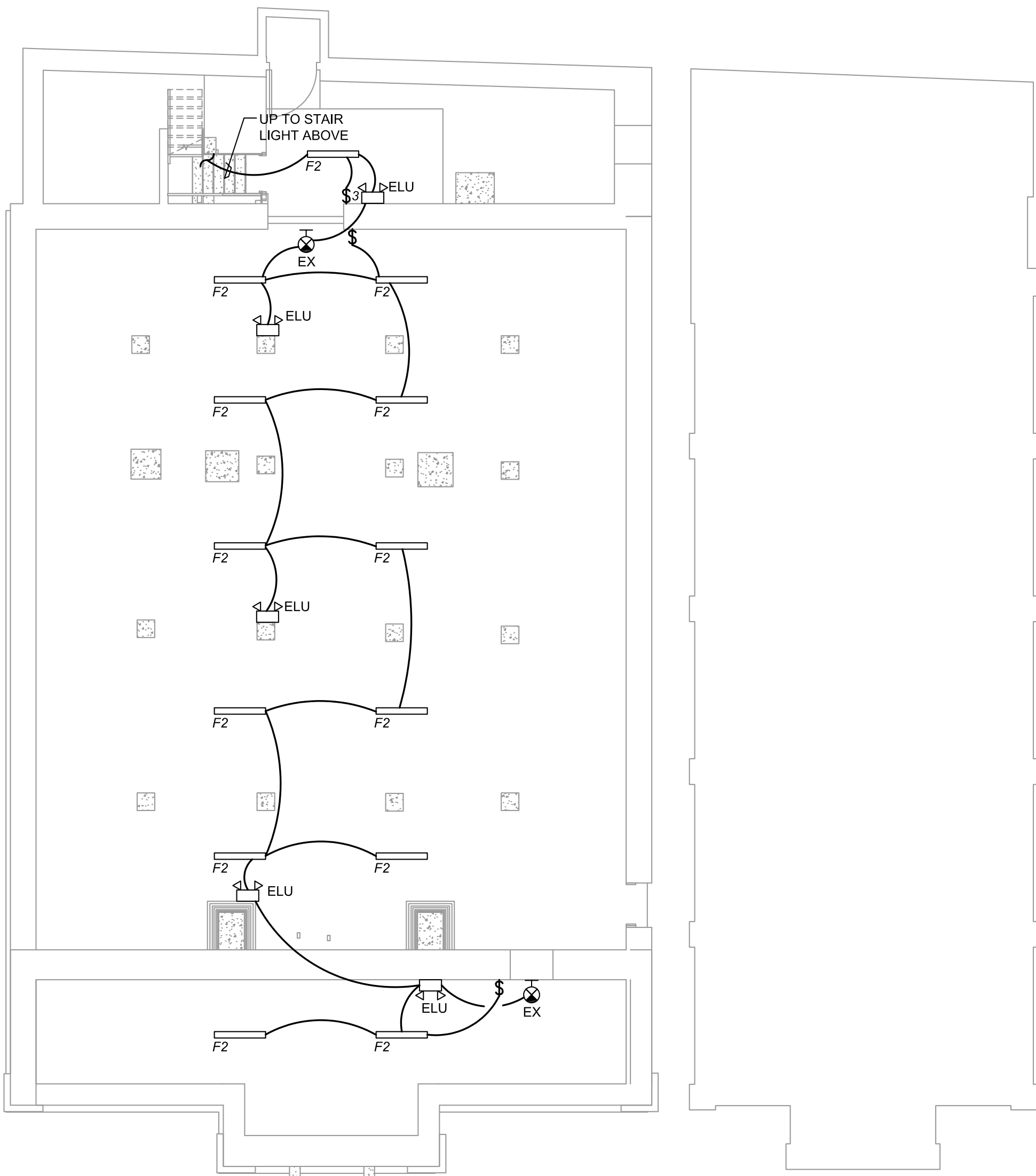
A1.1



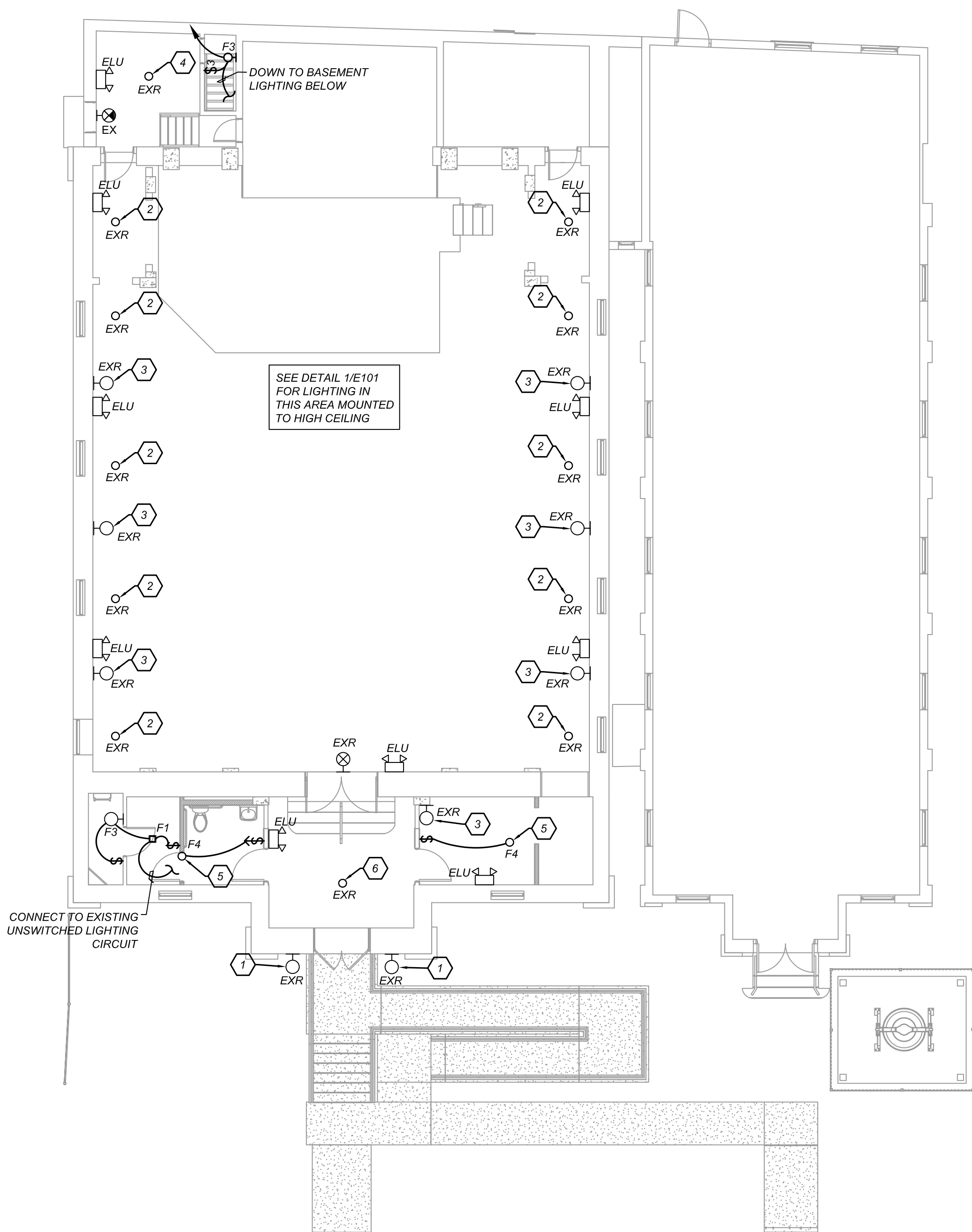
2 PROPOSED FIRST FLOOR AND SITE PLAN  
A1.1 SCALE: 1/4" = 1'-0"



1 LEVEL 1 FLOOR PLAN  
A1.1 SCALE: 1/4" = 1'-0"



1 BASEMENT LIGHTING PLAN  
Scale: 1/8"=1'-0"



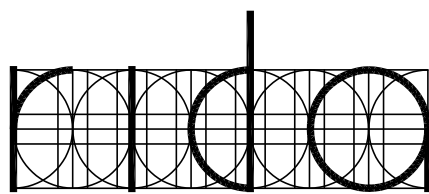
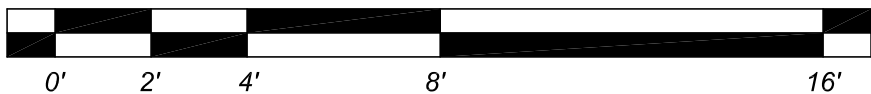
2 LEVEL 1 LIGHTING PLAN  
Scale: 1/8"=1'-0"

#### GENERAL NOTES:

- REFER TO DRAWING E-000 FOR ELECTRICAL LEGENDS, ABBREVIATIONS AND NOTES.
- PRIOR TO THE START OF WORK, ELECTRICAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS.
- ALL CONDUITS, FITTINGS, ETC. SHALL BE ALUMINUM RMC. ALL SUPPORTS, BOLTS, STRAPS, SCREWS, ETC. SHALL BE OF CORROSION-RESISTANT MATERIALS OR PROTECTED AGAINST CORROSION BY CORROSION-RESISTANT MATERIALS.
- EC TO ARRANGE IN TIMELY MANNER AND PAY UTILITY COMPANY SERVICES AND CHARGES AS REQUIRED BY NATIONAL GRID.
- REPLACEMENT LAMP TYPES HAVE BEEN ESTIMATED FROM OBSERVABLE FIELD CONDITIONS, THEREFORE FIELD VERIFY TYPES AND PROVIDE SUITABLE LED REPLACEMENTS.

#### KEYED NOTES:

- EXISTING WALL-MOUNTED EXTERIOR LANTERN STYLE FIXTURE TO REMAIN. REMOVE AND REPLACE LAMPS WITH NEW A-LAMP STYLE LED, CLEAR, MEDIUM-BASE, 5W (40W EQUAL), 2700K CCT, 120V, LAMPS. REPLACE NON-WORKING SOCKETS. FIELD VERIFY QUANTITY OF LAMPS REQUIRED.
- EXISTING SURFACE CEILING-MOUNTED ORNATE FIXTURE TO REMAIN. REMOVE AND REPLACE (4) LAMPS WITH (4) NEW CHANDELIER STYLE LED, CLEAR, INTERMEDIATE-BASE, 5W (40W EQUAL), 120V, 2700 CCT LAMPS. REPLACE NON-WORKING SOCKETS.
- EXISTING SURFACE WALL-MOUNTED ORNATE SCONCE FIXTURE TO REMAIN. REMOVE AND REPLACE (3) LAMPS WITH (3) NEW CANDELABRA STYLE LED, CLEAR, CANDELABRA-BASE, 5W (40W EQUAL), 120V, 2700 CCT LAMPS. REPLACE NON-WORKING SOCKETS.
- EXISTING PENDANT MOUNTED FIXTURE TO REMAIN. REMOVE AND REPLACE (1) LAMP WITH (1) NEW A-LAMP STYLE LED, CLEAR, MEDIUM-BASE, 5W (40W EQUAL), 2700K CCT, 120V, LAMP. REPLACE NON-WORKING SOCKET.
- PROVIDE TYPE F4 PENDANT FIXTURE MOUNTED TO EXISTING CEILING J-BOX AND CONNECTED TO EXISTING LIGHTING BRANCH CIRCUIT. PROVIDE NEW SWITCHING AS SHOWN. PROVIDE MOUNTING HARDWARE AS NECESSARY FOR INSTALLATION.
- EXISTING PENDANT MOUNTED CHANDELIER TO REMAIN. REMOVE AND REPLACE (3) LAMPS WITH (3) NEW A-LAMP STYLE LED, CLEAR, MEDIUM-BASE, 5W (40W EQUAL), 2700K CCT, 120V, 2700 CCT LAMPS. REPLACE NON-WORKING SOCKETS.



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NEW TOILET ROOM  
HANDICAP LIFT AND  
ELECTRICAL UPGRADES  
DUTCH REFORM CHURCH  
1501 1st AVENUE  
WATERVLIET, NEW YORK 12189

#### REVISION

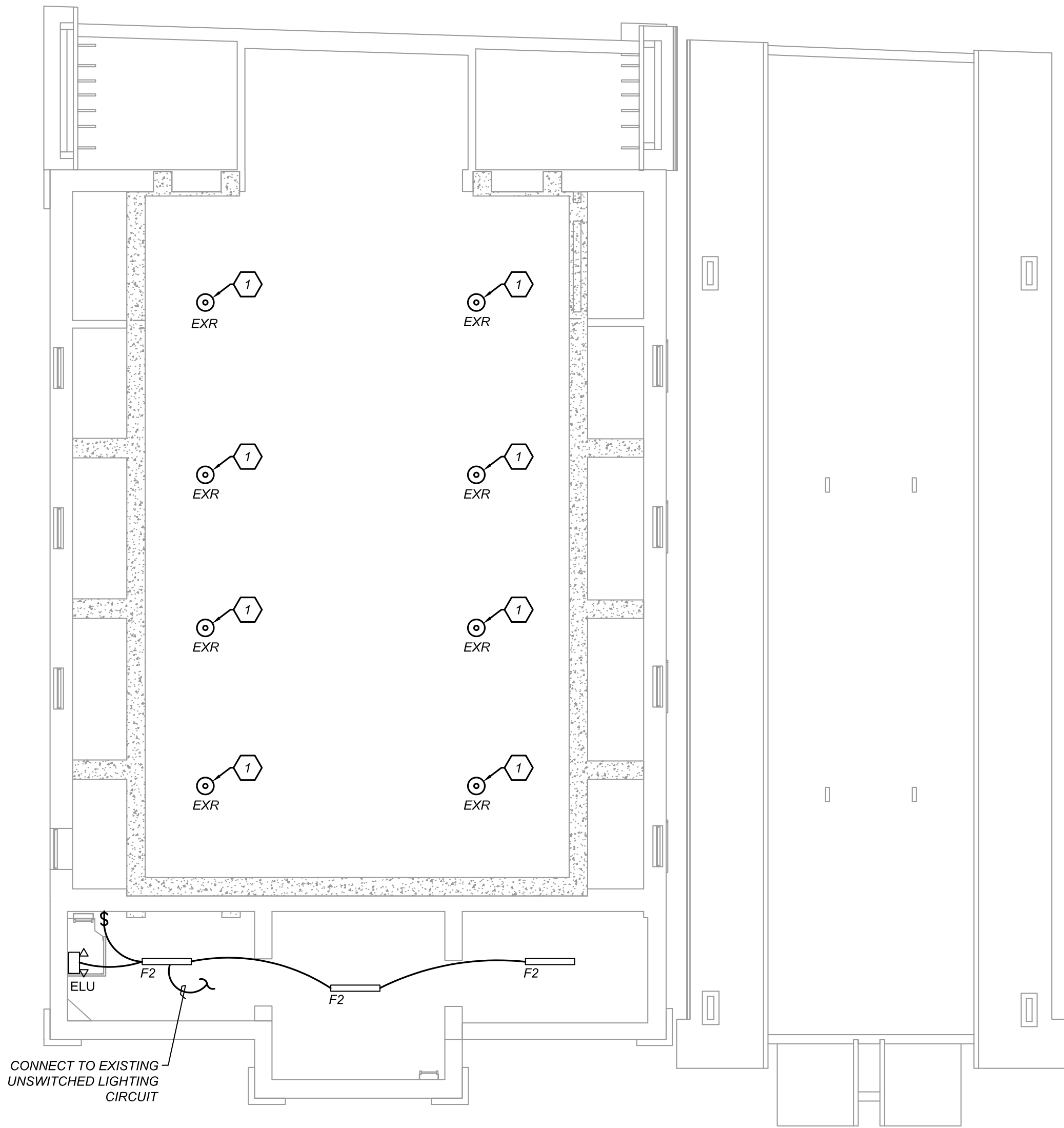
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BASEMENT AND  
LEVEL 1  
LIGHTING  
PLANS

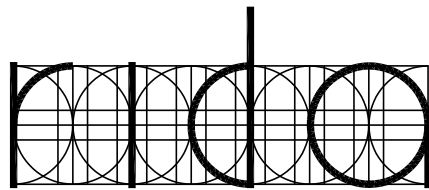
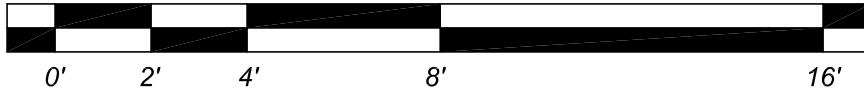
E100



- GENERAL NOTES:
- A. REFER TO DRAWING E-000 FOR ELECTRICAL LEGENDS, ABBREVIATIONS AND NOTES.
  - B. PRIOR TO THE START OF WORK, ELECTRICAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS.
  - C. EC SHALL INSTALL WIRING CONCEALED AS MUCH AS POSSIBLE.
  - D. REPLACEMENT LAMP TYPES HAVE BEEN ESTIMATED FROM OBSERVABLE FIELD CONDITIONS, THEREFORE FIELD VERIFY TYPES AND PROVIDE SUITABLE LED REPLACEMENTS.

- KEYED NOTES:
- 1 EXISTING PENDANT MOUNTED CHANDELIER TO REMAIN. REMOVE AND REPLACE (12) LAMPS WITH (12) NEW CHANDELIER STYLE LED, CLEAR, MEDIUM-BASE, 5W (40W EQUAL), 2700K CCT, 120V, FLAME-SHAPED LAMPS. REPLACE NON-WORKING SOCKETS.

1 LEVEL 2 LIGHITNG PLAN  
E101 Scale: 1/4"=1'-0"



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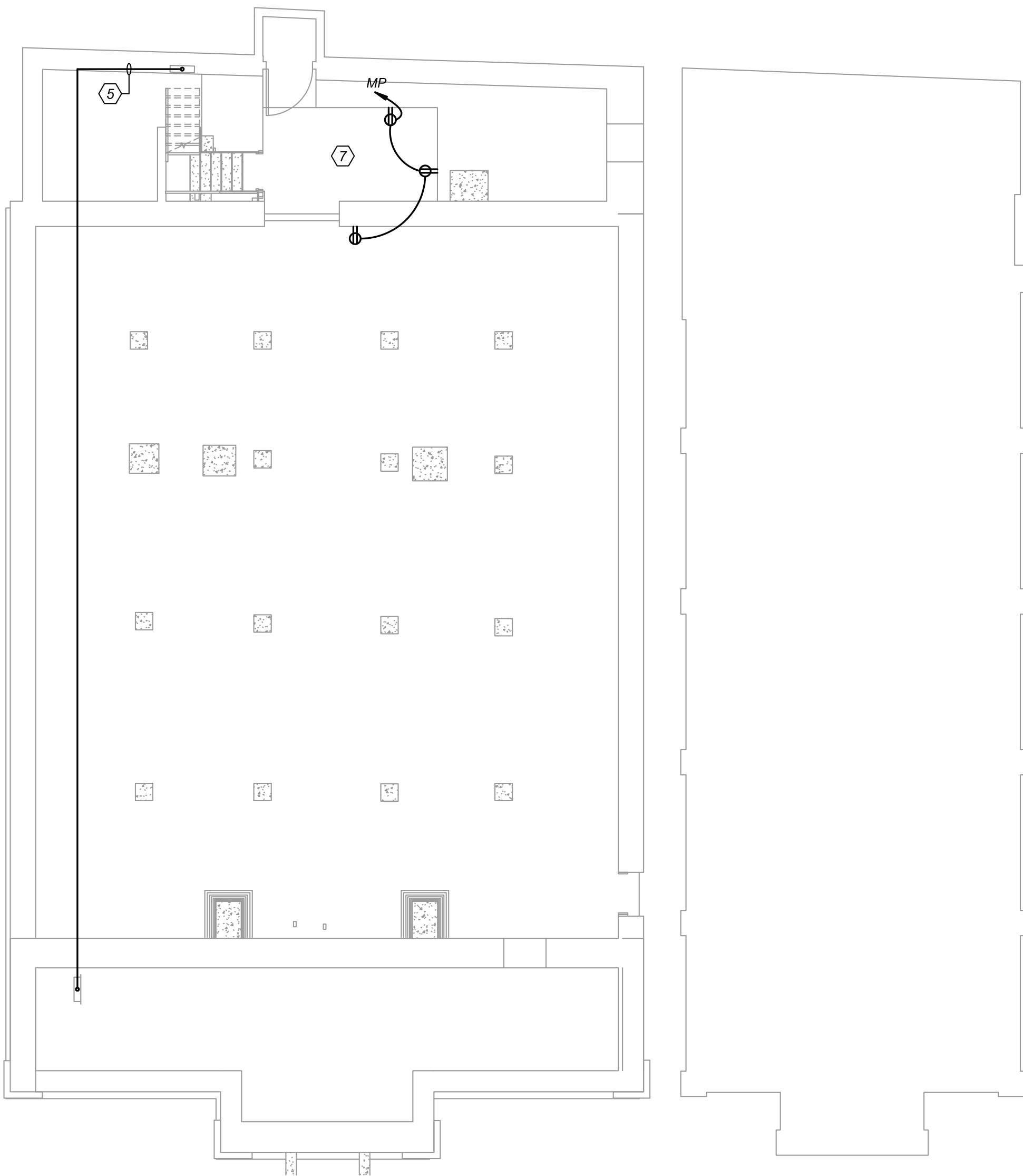
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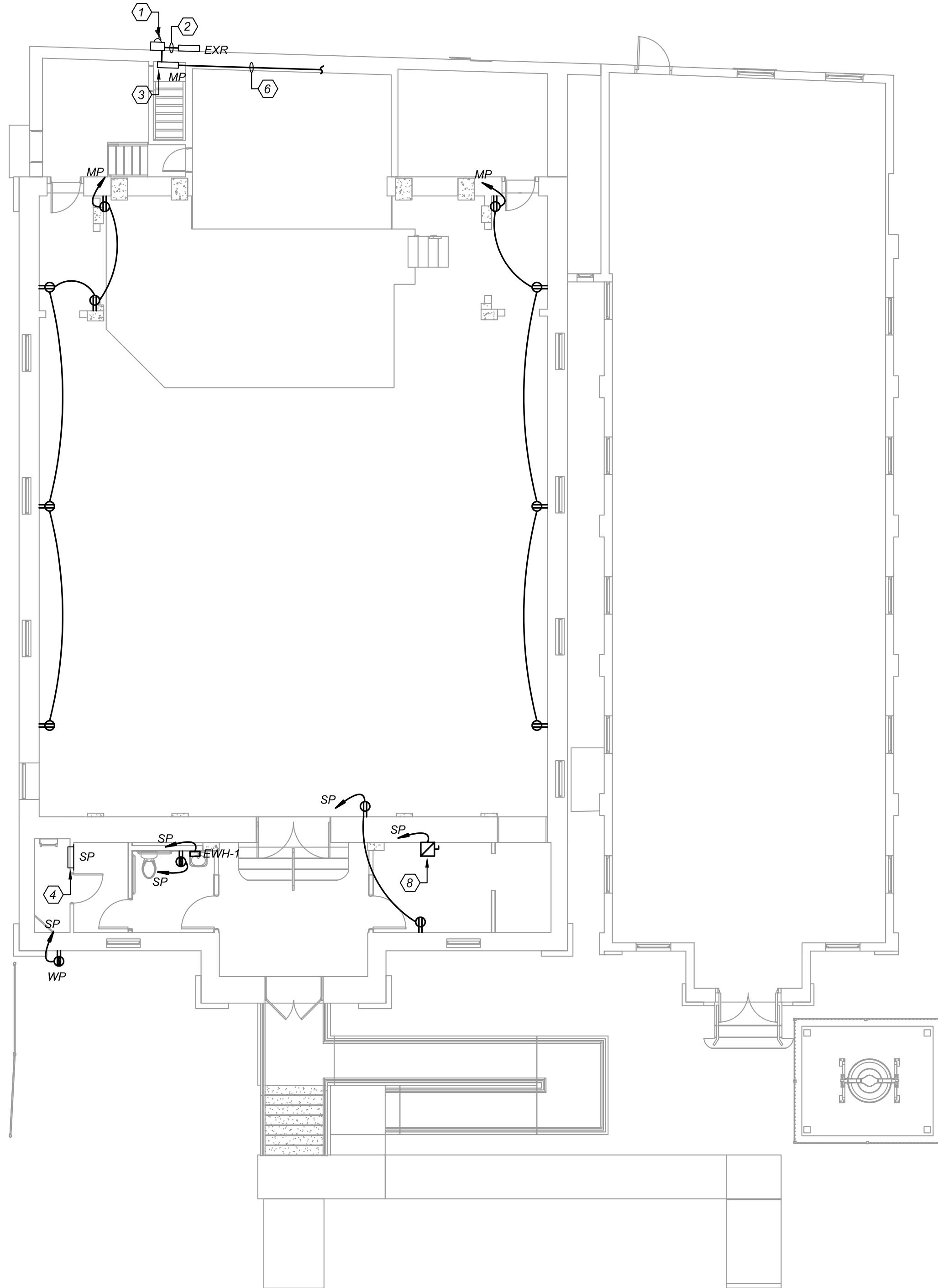
LEVEL 2  
LIGHTING PLAN

E101





1 BASEMENT POWER PLAN  
E200 Scale: 1/4"=1'-0"



2 LEVEL 1 POWER PLAN  
E200 Scale: 1/8"=1'-0"

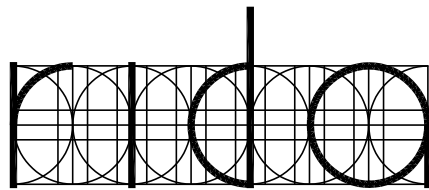


GENERAL NOTES:

- A. REFER TO DRAWING E-000 FOR ELECTRICAL LEGENDS, ABBREVIATIONS AND NOTES.
- B. PRIOR TO THE START OF WORK, ELECTRICAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS.
- C. EC SHALL INSTALL WIRING CONCEALED AS MUCH AS POSSIBLE.
- D. EC TO ARRANGE IN TIMELY MANNER AND PAY UTILITY COMPANY SERVICES AND CHARGES AS REQUIRED BY NATIONAL GRID.

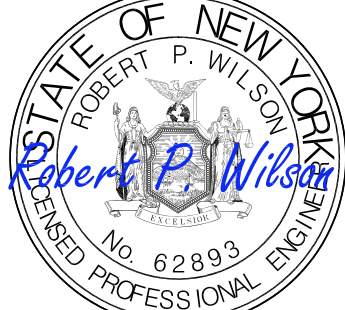
KEYED NOTES:

- 1 EC TO COORDINATE WITH OWNER AND NATIONAL GRID FOR WORK PHASING. EC TO PROPOSE WORK PHASING TO MINIMIZE POWER OUTAGE PERIOD. EC TO PROVIDE NEW OVERHEAD SERVICE 3-600KCMIL IN 3" C. EC TO PROVIDE NEMA 3R COMBINATION METER SOCKET WITH TWO MAIN CIRCUIT BREAKERS U5059-X-2/200-K3L-S16-AMS MILBANK OR APPROVED EQUAL BY NATIONAL GRID. FOR DETAILS REFER POWER RISER DIAGRAM ON DRAWING 2/E201.
- 2 EC TO PROVIDE 3-#3/0, 1-#4 G IN 2" C.
- 3 EC TO PROVIDE 200AMP 120/240V, 1-PHASE, 3-WIRE PANELBOARD. PROVIDE TYPEWRITTEN PANELBOARD SCHEDULE.
- 4 EC TO PROVIDE 100AMP 120/240V, 1-PHASE, 3-WIRE PANELBOARD. PROVIDE TYPEWRITTEN PANELBOARD SCHEDULE. PROVIDE PANELBOARD WITH LOCKABLE DOOR.
- 5 EC TO PROVIDE 3-#3, 1-#4 G IN 1" C FROM MAIN PANEL "MP" TO SUB PANEL "SP".
- 6 EC TO PROVIDE 3-#3, 1-#4 G IN 1" C UP TO PANELBOARD IN MUSEUM.
- 7 EC TO PROVIDE REQUIRED CONDUIT, CONDUCTORS, ACCESSORIES, ETC. TO RECONNECT EXISTING PUMPS, HVAC EQUIPMENT, ETC. IN THIS AREA. CONNECTIONS UP TO MAIN PANEL "MP". COORDINATE WITH OWNER FOR RECONNECTIONS.
- 8 EC TO PROVIDE FUSE DISCONNECT WITH AUXILIARY CONTACTS PER LIFT MANUFACTURER'S SPECIFICATIONS.



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HANDICAP LIFT AND  
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DUTCH REFORM CHURCH  
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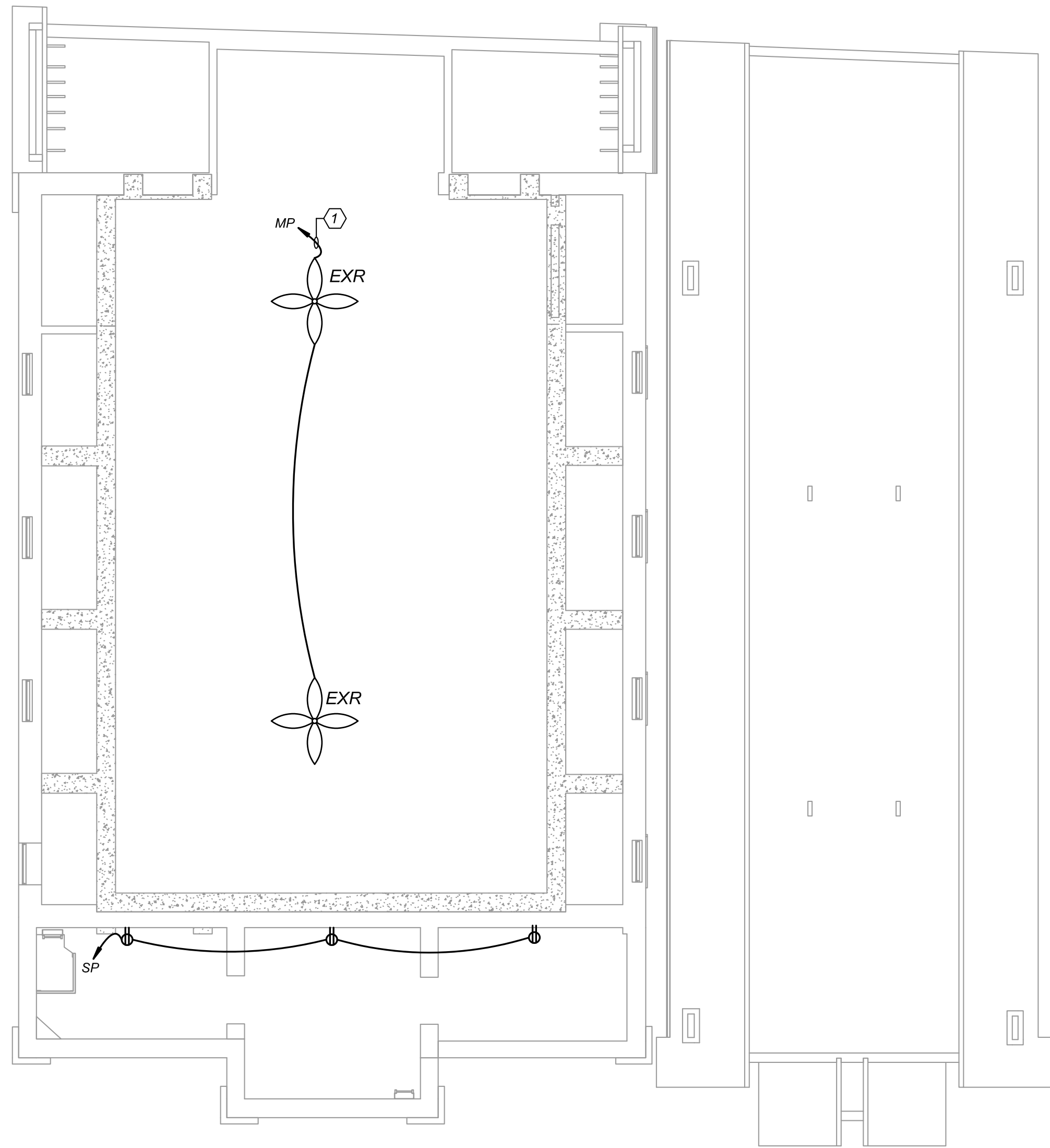
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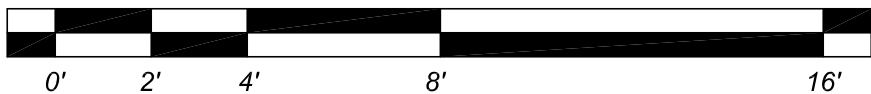
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POWER PLANS

E200



1  
E201 LEVEL 2 POWER PLAN  
Scale: 1/4"=1'-0"

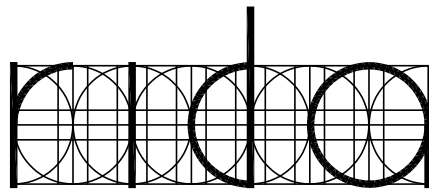


GENERAL NOTES:

- A. REFER TO DRAWING E-000 FOR ELECTRICAL LEGENDS, ABBREVIATIONS AND NOTES.
- B. PRIOR TO THE START OF WORK, ELECTRICAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS.
- C. EC SHALL INSTALL WIRING CONCEALED AS MUCH AS POSSIBLE.

KEYED NOTES:

- 1 EC TO PROVIDE CONTROL SYSTEM, CONDUIT, CONDUCTORS, ETC. AS REQUIRED. COORDINATE WITH OWNER FOR CONTROL SYSTEM DETAILS AND LOCATION.



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POWER PLAN

E201

KEYED NOTES - DEMOLITION:

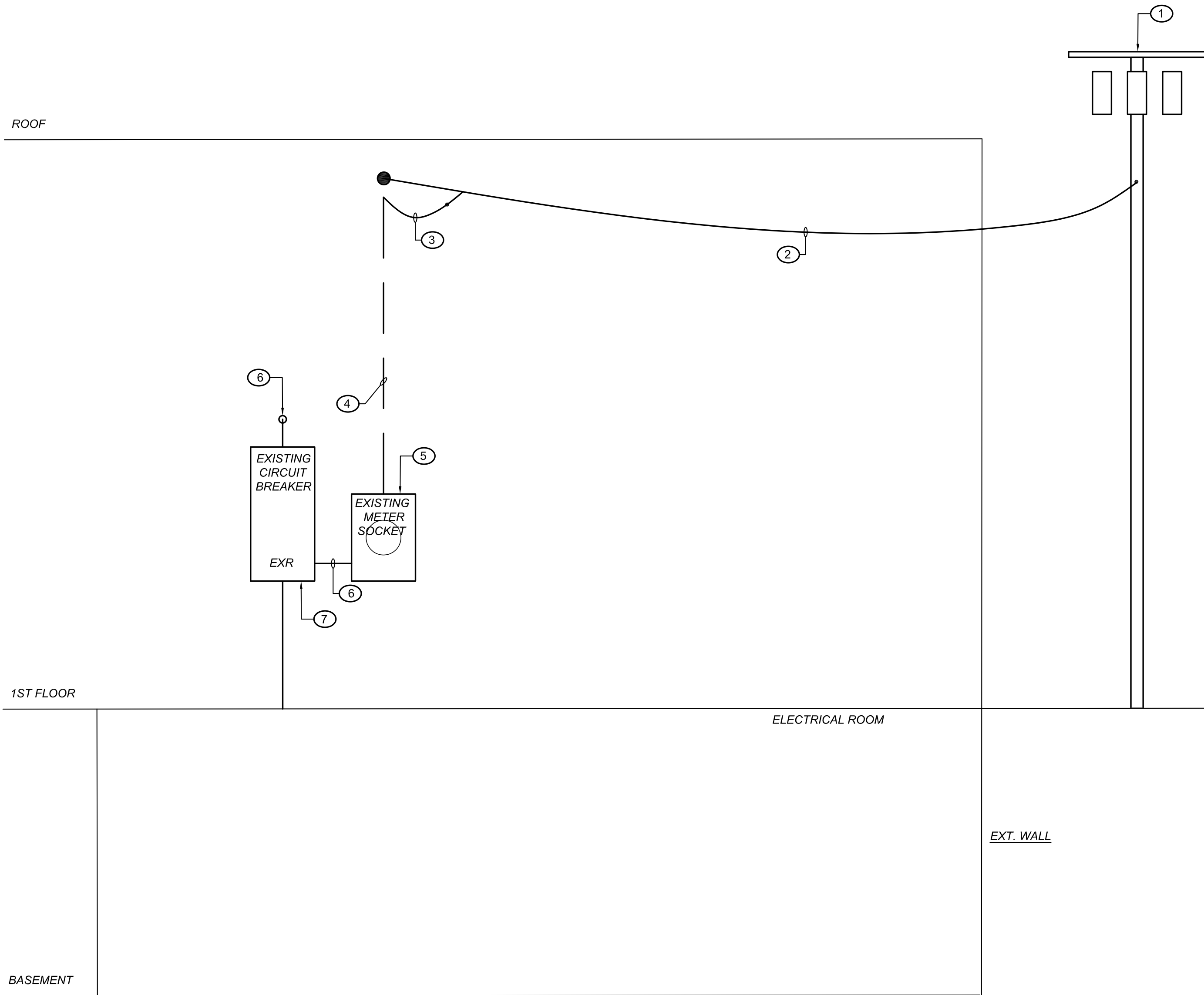
- ① EXISTING NATIONAL GRID POLE.
- ② EXISTING NATIONAL GRID CONDUCTORS TO BE UPGRADED ACCORDINGLY BY NATIONAL GRID.
- ③ EC TO COORDINATE WITH NATIONAL GRID TO DISCONNECT SERVICE ENTRANCE CONDUCTORS.
- ④ EC TO DISCONNECT AND REMOVE EXISTING SERVICE ENTRANCE CONDUIT, CONDUCTORS, ETC.
- ⑤ EC TO DISCONNECT AND REMOVE EXISTING METER SOCKET.
- ⑥ EC TO DISCONNECT AND REMOVE EXISTING CONDUIT AND CONDUCTORS.
- ⑦ EXISTING PANELBOARD TO REMAIN. EC TO PROVIDE FITTINGS, ACCESSORIES, ETC. AS REQUIRED FOR PANELBOARD WATERPROOFING.

GENERAL NOTES:

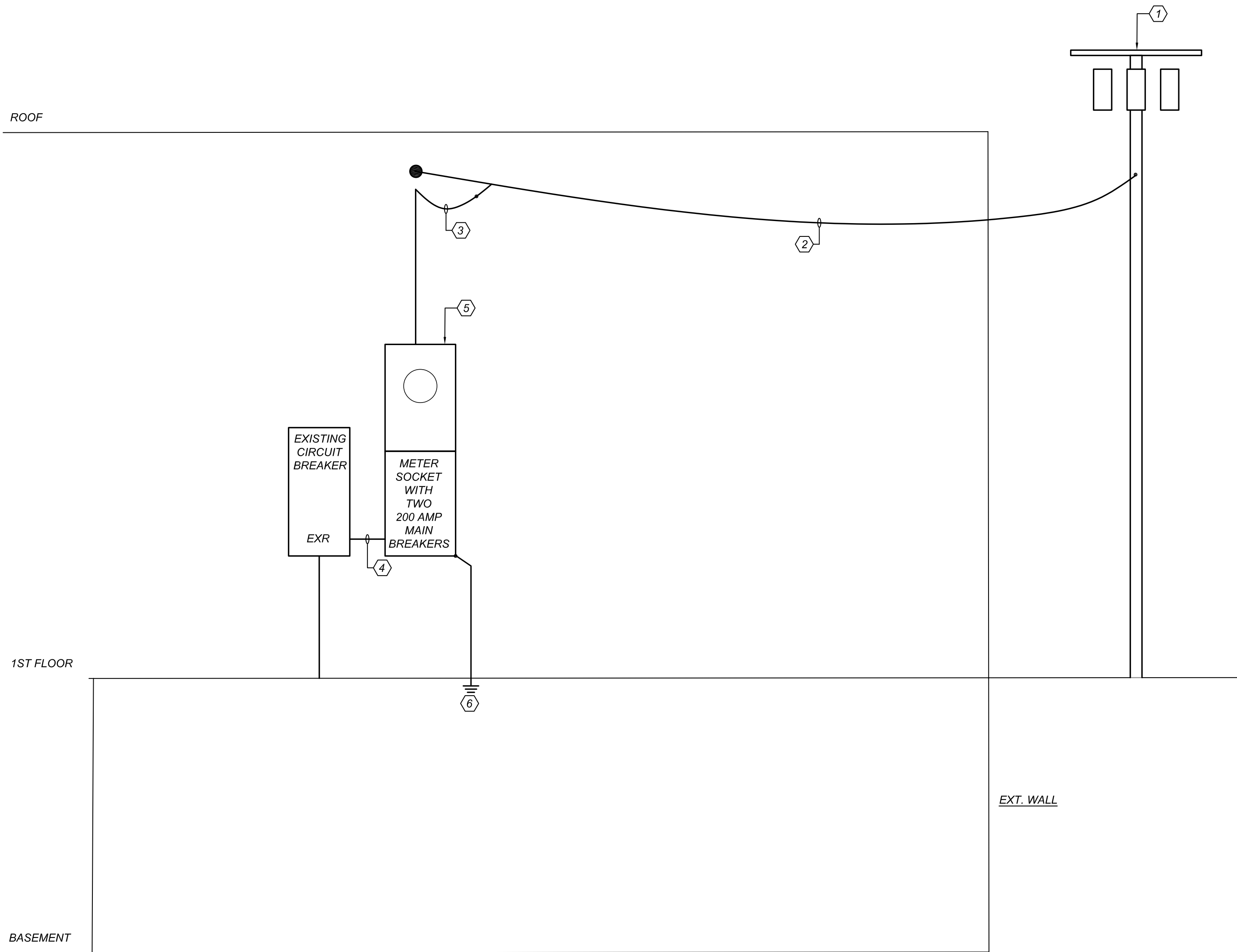
- A. REFER TO SHEET E-000 FOR ELECTRICAL LEGENDS AND NOTES.
- B. THE EC SHALL ARRANGE IN TIMELY MANNER WITH NATIONAL GRID TO DISCONNECT AND RECONNECT EXISTING SERVICE ENTRANCE FOR MODIFICATIONS WORK REQUIRED AS INDICATED IN THE ELECTRICAL ROOM. EC TO PAY FOR ALL NATIONAL GRID SERVICES AND CHARGES AS REQUIRED FOR A COMPLETE OPERATING SYSTEM. EC TO PROCEED WITH INDICATED MODIFICATIONS ONLY AFTER NATIONAL GRID DISCONNECT THE SERVICE ENTRANCE.
- C. REFER TO NEC AND NATIONAL GRID SPECIFICATIONS FOR ELECTRICAL INSTALLATIONS.
- D. EC TO PROVIDE TEMPORARY POWER FOR ENTIRE BUILDING DURING POWER OUTAGE.
- E. EC TO PROVIDE GROUNDING AND BONDING PER NEC.

KEYED NOTES:

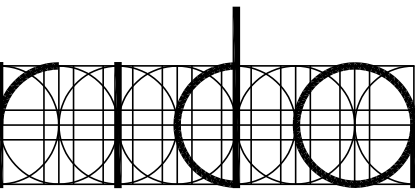
- ⑦ EXISTING NATIONAL GRID POLE.
- ② OVERHEAD CONDUCTORS TO BE UPGRADED BY NATIONAL GRID. CONNECTIONS BY NATIONAL GRID.
- ③ PROVIDE 3- 600KCMIL IN 3" C. EC TO COORDINATE WITH NATIONAL GRID FOR RECONNECTION.
- ④ EC TO PROVIDE 4- #4/0, 1 #4 G IN 2"C. REFER TO DRAWING 1/E201.
- ⑤ EC TO PROVIDE NEMA 3R COMBINATION METER SOCKET WITH TWO MAIN CIRCUIT BREAKERS U5059-X-2/200-K3L-5T6-AMS MILBANK OR APPROVED EQUAL BY NATIONAL GRID. REFER TO DRAWING 2/E200.
- ⑥ GROUNDING ELECTRODE CONDUCTOR TO ALL GROUND SOURCES, WATER SERVICE PIPE AND BUILDING STEEL IF APPLICABLE. GROUNDING AND BONDING PER NEC.



1 POWER RISER DIAGRAM- ELECTRICAL REMOVALS  
E401 NOT TO SCALE



2 POWER RISER DIAGRAM  
E401 NOT TO SCALE



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SECTION 7209.

CONSULTANT:

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CLIENT:

**CITY OF  
WATERVLIET**

2 FIFTEENTH STREET  
WATERVLIET, NEW YORK 12189

PROJECT:

NEW TOILET ROOM  
HANDICAP LIFT AND  
ELECTRICAL UPGRADES

DUTCH REFORM CHURCH  
1501 1st AVENUE  
WATERVLIET, NEW YORK 12189

REVISION

NO.	

DATE: 05.08.2023

CONTRACT  
NUMBER:

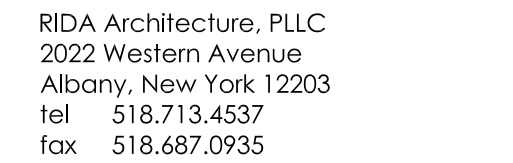
DRAWN BY: TVE

CHECKED BY: TVE

**POWER  
RISER  
DIAGRAMS**

**E401**





**C RIDA ARCHITECTURE, PLLC**  
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SECTION 7209.



TechValley  
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WATERVLIET, NEW YORK 12189

REVISION	
NO.	

## PANELBOARD SCHEDULES

5/9/2023 11:33:27 AM

PANEL "SP" SCHEDULE																		
PROJECT: DUTCH REFORMED CHURCH					PANEL VOLTAGE: 240 / 120					AIC RATING: 10KA								
PANEL: SP					PHASE & WIRE: 1-PHASE, 3-WIRE					MOUNTING: SURFACE								
LOCATION: FRONT ENTRANCE					BUS/MAIN (AMPS): 100A MCB					NOTES:								
CKT NO.	OCPD		WIRE SIZE	DESCRIPTION	LOAD (KVA)			3 PHASE SEQUENCE		LOAD (KVA)			DESCRIPTION	WIRE SIZE	OCPD		CKT NO.	
	A	P			MISC	REC	LTG	A	B	MISC	REC	LTG			A	P		
1	20	1	#12	LIGHTING				###					LIGHTING	#12	20	1	2	
3	20	1	#12	LIGHTING					###				LIGHTING	#12	20	1	4	
5	20	1	#12	LIGHTING				###					LIGHTING	#12	20	1	6	
7	20	1	#12	EXISTING					###				EXISTING	#12	20	1	8	
9	20	1	#12	EXISTING				###					EXISTING	#12	20	1	10	
11	20	1	#12	EXISTING					###				EXISTING	#12	20	1	12	
13	20	1	#12	EXISTING				###					EXISTING	#12	20	1	14	
15	20	1	#12	EXISTING					###				EXISTING	#12	20	1	16	
17	20	1	#12	EXISTING				###					EXISTING	#12	20	1	18	
19	30	2	#10	EWH-1					###				LIFT	#12	20	1	20	
21								###				GFCI- BATHROOM	#12	20	1	22		
23		1		SPACE					###				SPACE			1	24	
25		1		SPACE					###				SPACE			1	26	
27		1		SPACE						###			SPACE			1	28	
29		1		SPACE					###				SPACE			1	30	
SUB-TOTAL CONNECTED LOAD (KVA)					####	###	###	###	###	###	###	###						
TOTAL CONNECTED LOAD (KVA)					###	###	###											
DEMAND FACTOR					1.0	1.0	1.25	DEMAND LOAD (KVA)										###
TOTAL DEMAND LOAD (KVA)					###	###	###	SPARE LOAD (KVA)										###
								TOTAL DEMAND (KVA)										###
								LINE CURRENT (AMPS)										####
X= 1ST 10KVA @ 100%, + REMAINDER @ 50% (2014 N.E.C. 220-44)																		